

Cultural Historic Survey Report
Brent Spence Bridge Renewal Project
Covington, Kenton County, Kentucky
(KTYC Item No.6-17)

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ABSTRACT

Cardno was contracted by the Kentucky Transportation Cabinet (KYTC) to complete a cultural-historic survey report addendum for the Brent Spence Bridge project in Covington, Kenton County, Kentucky, under the Statewide Environmental Cultural Historic and Archaeological Studies contract, effective July 1, 2020 (2020-08-3).

In June and July 2022, Cardno’s cultural-historic staff surveyed 214 properties as part of this project. Of these, ninety-seven (97) were previously recorded. Cardno recommends twenty-four (24) properties eligible for the National Register of Historic Places (NRHP) as part of this project. The following report describes these findings.

Table 1. Brent Spence Bridge Renewal Project, NRHP Listed and Eligible Properties

Field Site No./KHC No.	Site Name	NRHP Status
FS 18/KECL-1018	House/521 Western Ave	Eligible
FS 40/KEC-460	House/829-831 Highway Avenue	Eligible
FS 50/KEC-1048	Futuro House/224 Wright Street	Eligible
FS 58/KECL-1055	NKY Townhouse/611 Crescent Ave	Eligible
FS 71/ KEC-1064	Commercial Building/402 Bakewell Street	Eligible
FS 75/KECL-107	C&O Railroad Bridge	Eligible
FS 76/ KEC-1038	Quality Inn/626 W. 5 th Street	Eligible
FS 77/KEC-820	Brent Spence Bridge	Eligible
FS 78/ KEC-1068	Covington Levee	Eligible
FS 85/KECL-815	Bavarian Brewing Co./Kenton Co Govt Center	Listed
FS 89/KEC-462	Bavarian Brewery Bottling Works/Glier’s Goetta	Eligible

Field Site No./KHC No.	Site Name	NRHP Status
FS 93/KECL-692	House/536 West 13 th Street	Eligible
FS 94/KEC-1011	House/534 West 13 th Street	Eligible
FS 150/KEC-458	House/45 Rivard Drive	Eligible
FS 174/KEC-456	House/1000 Emery Drive	Eligible
FS 180/KE-09	West Side/Main Strasse Historic District (Expansion)	Listed/Eligible
FS 181/KE-010	Lewisburg Historic District	Listed
FS 182/ KE-011	Old Ft. Mitchell Historic District	Listed
FS 183/ KE-012	Beechwood Historic District	Listed
FS 184/KE-952	Sisters of Notre Dame Convent and Cemetery	Eligible
FS 185/KE-07 AND KE-08	Elberta Apartments Historic District	Eligible
FS 230/KEFM-150	Highland Cemetery Historic District	Listed
FS 231/KE-013	Hillsdale Historic District	Eligible
FS 233/KEC-1075	Clay Wade Bailey Bridge	Eligible

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Appendices

Appendix A KHC Previously Recorded Site Results
Appendix B Field Survey Map Set

1

INTRODUCTION

PROJECT DESCRIPTION

The Interstate 75 (I-75) corridor within the Greater Cincinnati/Northern Kentucky region is a major thoroughfare for local and regional mobility. Locally, it connects to Interstate 71 (I-71), Interstate 74 and US Route 50. The Brent Spence Bridge provides an interstate connection over the Ohio River and carries both I-71 and I-75 traffic. The bridge also facilitates local travel by providing access to downtown Cincinnati, Ohio and Covington, Kentucky. Safety, congestion and geometric problems exist on the structure and its approaches. The Brent Spence Bridge, which opened to traffic in 1963, was designed to carry 80,000 vehicles per day. Currently, approximately 160,000 vehicles per day use the Brent Spence Bridge and traffic volumes are projected to increase to approximately 233,000 vehicles per day in 2035.

The I-75 corridor within the Greater Cincinnati/Northern Kentucky region is experiencing problems, which threaten the overall efficiency and flexibility of this vital trade corridor. These problems include, but are not limited to, growing demand and congestion, land use pressures, environmental concerns, inadequate safety margins, and maintaining linkage in key mobility, trade, and national defense highways.

This project is an eight-mile interstate widening project between Dixie Highway in Kentucky and Ezzard Charles Drive in Ohio, with approximately six miles of the project in Kentucky. The widening will allow the interstate to be split into an express/through and local system, which will reduce congestion and improve safety by moving exiting and entering traffic to the local system. The project includes the construction of a new companion bridge adjacent to the existing Brent Spence Bridge, reconstructed interchanges and overpasses, new frontage roads, upgraded drainage facilities, relocated utilities, expanded sidewalks and new multiuse facilities, retaining walls, and noise walls - all of which are typically associated with urban highway projects.



Plate 1. Northern section of the Project Area, looking NW from Western Avenue.



Plate 2. North-central section of the Project Area, looking NW from Goebel Park, SW from the intersection of Fifth and Philadelphia Streets.



Plate 3. South-central section of Project Area, looking SW from Kyles Lane I75-71 overpass.



Plate 4. Southern section of Project Area, looking south from the intersection of the Dixie Highway (US 25) and Fort Mitchell Avenue.

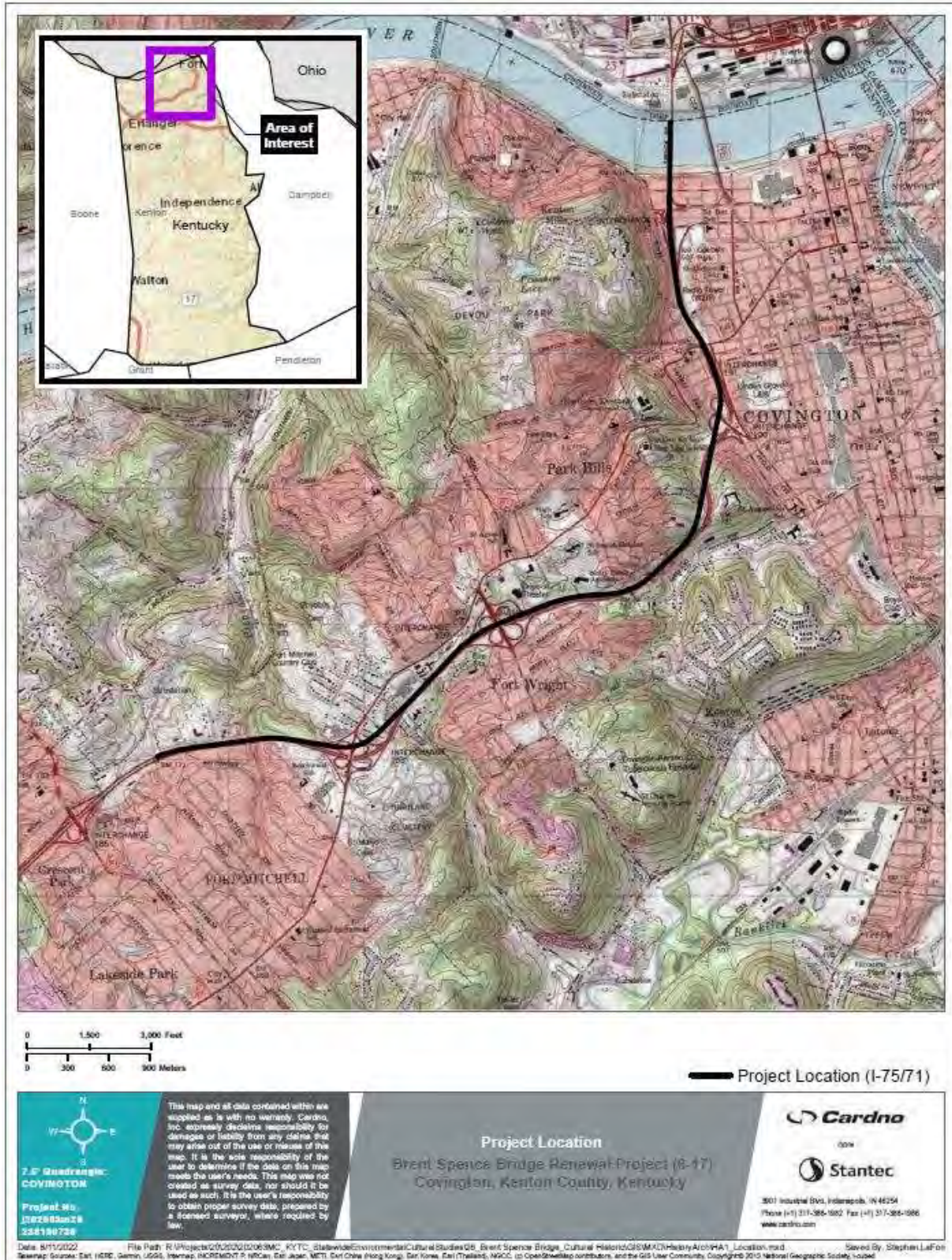


Figure 1. Project Location

COMPLIANCE REQUIREMENTS

This project is a federal undertaking which will be supported by Federal Highway Administration (FHWA) funding and, thus, FHWA represented by the Kentucky Transportation Cabinet (KYTC) is the lead federal agency. The cultural-historic survey was requested to meet federal compliance requirements in accordance with Section 106 of the National Historic Preservation Act, as amended (54 USC § 306108) and its implementing regulations (36 CFR § 800). Section 106 requires that federal agencies identify cultural resources fifty (50) years of age or older within the APE of their federal undertakings. Additionally, Section 106 requires federal agencies to assess and resolve through consultation any direct and/or indirect adverse effects of their undertakings on historic properties listed in or eligible for listing in the National Register of Historic Places (NRHP) prior to the issuance of a federal permit or license or the expenditure of any federal funds for construction.

AREA OF POTENTIAL EFFECT

The Area of Potential Effect (APE) was determined through consultation between KYTC DEA and KHC/SHPO in Summer 2022. KHC/SHPO provided concurrence with this APE in a letter dated June 1, 2022.¹ This letter states,

The project Area of Potential Effects (APE) is located along a 7.8-mile segments of I-75 within the Commonwealth of Kentucky (state line mile 186.7) and the State of Ohio (state line mile 2.7). The northern limit of the project is 1500 feet north of the midpoint of the Western Hills Viaduct Interchange on I-75 in Cincinnati, Ohio. The southern limit of the project is 5000 feet south of the midpoint of the Dixie Highway Interchange in Fort Wright, Kentucky. The eastern and western limits of the project generally follow the existing alignment of I-75. When the National Register of Historic Places (NRHP) listed district was located within the project APE, the project APE was expanded to encompass the entire NRHP boundary.

This APE was from a previous 2006-2010 report² and KYTC requested to reuse this APE with the following modifications:

- 1. Only the portion of the project which falls within the State of Kentucky will be examined.*
- 2. Based on the most recent disturbance limits GIS data from District 6, there are two new disturbance areas that fall outside of the original APE. The first area is on the sets side of Kyles Lane (KY-1072) in Fort Mitchell and will accommodate traffic heading toward the entrance ramp to I-75/71 from the Kyles Lane/Dixie Highway intersection to the north. The second area is a drainage area located west of I-75/71 and south of Cedar Ridge Lane. KYTC has added these areas to the previous APE shape.*
- 3. There are additional smaller areas where the recent disturbance limits go outside of the previous APE. These areas vary between 15 and 40 feet outside of the previous APE, and all are south of 12th Street on the east side of I-75/71 and south of US-*

¹ Daniel R. Peake (KYTC) to Craig Potts (KY-SHPO), KYTC Section 106 Response Letter, "Subject: Area of Potential Effects for the Brent Spence Bridge project in Covington, Kenton County, Kentucky, KYTC Item No. 6-17," (Frankfort: Commonwealth of Kentucky Transportation Cabinet), June 1, 2022.

² Parsons Brinkerhoff America in Association with Gray & Pape, Inc. *Brent Spence Bridge Replacement/Rehabilitation Project, History/Architecture Report, Kenton County, Kentucky, ODOT PID No. 75119, HAM-71/75-0.00/0.22, KYTC Project Item No. 6-17. April 2010.*

- 127/West Pike Street on the west side of I-75/71. KYTC buffered the previous APE 50 feet south of 12th Street and south of US-127/West Pike Street to ensure all areas of disturbance will be within the APE and to capture any additional resources.*
- 4. Boundaries for each National Register Historic District intersected by the APE have been re-digitized to match the district boundaries as shown on the maps in their respective NRHP nomination documents. These re-digitized boundary shapes will provide better accuracy as to which resources fall within the area of direct impacts.*
 - 5. The revised buffer will intersect the Beechwood Schools parcel which includes the original Beechwood School (KEFM-181. Site KEFM-181 is part of the Beechwood Historic District. KYTC has added the Beechwood School parcel and the Beechwood Historic District to the APE.*

The project APE can be viewed in Figure 2 below.

2

METHODOLOGY

The investigation was completed using guidelines set forth in the Secretary of the Interior Standards and the KHC/SHPO's Guidelines for Archaeology and Historic Preservation and Specifications for Conducting Fieldwork and Preparing Cultural Resource Assessment Reports. The Principal Investigator (PI), Rachel M. Kennedy, exceeds the requirements for professional architectural historian as detailed in the Secretary of the Interior Standards. This investigation includes a records check, review of maps and literature, and field survey.

PREVIOUS INVESTIGATIONS

Cardno completed a KHC/SHPO records search of the project footprint in June 2022 (FY22-4812) plus a 500 ft. buffer to identify previously documented above-ground resources. This search identified approximately 102 previously recorded surveyed properties as can be seen in Appendix A and noted by an asterisk next to the KHC site number in **Table 5** below. Electronic copies of the survey forms were retrieved from the KHC Survey Coordinator and compared with field site photos and notes to determine if they matched. In cases where they did not, every effort was made to find the correct survey form through use of the site check results and other related data.

In the course of research and investigation, Cardno's architectural history team discovered some anomalies with the previously surveyed properties in this report. These include properties that have been mis-mapped, assigned more than one survey number, and previous surveys that were unable to be located, among others. Previously surveyed properties that have been mis-mapped include: KECL-692 (FS 93/536 W. 13th Street) has been mapped at 39.0749723, -84.5173459 rather than the property at 536 W. 13th Street; and KEFM-334 has been mapped at 219 Ana Jo Lane, Fort Mitchell, KY rather than at the correct location of 216 Ana Jo Lane, Fort Mitchell, KY. Two field sites were assigned more than one survey number: FS 86/514 W. 12th Street was assigned KEC-626 and KECL-626; and FS 91/533-535 Pike Street was assigned KEC-817 and KECL-817. Other issues include: FS 7/KECL-1037/633 Western Avenue was on the Site Check but no previously surveyed point was mapped; FS 88/KECL-918/510 W. 12th Street has a previously survey form that cannot be located by SHPO; FS 105/KEC-459/505 St. Joseph Lane was previously surveyed as 509 St. Joseph Lane; FS 114/KEFM-314 was previously surveyed as 5 Leslie Avenue, however Kenton County records indicate that this property is 5 E. Orchard Street; and finally, FS 150/KEC-458/45 Rivard Drive was previously surveyed but did not show up in the Site Check or on GIS at SHPO.

Table 2 documents all of the eligible and NRHP-listed properties identified within our APE plus the 500 ft. buffer area. These results were double-checked against copies of the KHC survey forms, where these were available, to determine if there were any eligible or NRHP-listed properties missing, given the

somewhat chaotic condition of the KHC survey forms and associated mapping for Covington and Kenton County. When there were discrepancies, these are noted in the field site narrative descriptions, if possible. There are multiple instances of the same property receiving more than one KHC number, and perhaps more troubling, a few instances of a NRHP-listed property having an eligible, not listed status. Highland Cemetery and the Bavarian Brewery (KEC-817/KEC-815) were both listed as eligible or contributing (or both contributing and listed), but both are NRHP-listed.

The NRHP boundaries for all listed NRHP districts were reviewed for accuracy. Where the KHC mapping diverges from the NRHP boundary map, the project team redrew the boundaries to correspond to the official listing data and/or used data provided by KYTC in order to appropriately assess the project's effects on NRHP districts.

Table 2. Previously Recorded NRHP Eligible or Listed Properties³

KHC No.	Site Name	NRHP Status
KEC-456	House/1000 Emery Drive	Eligible
KEC-459	Apartment Building/509 St Joseph Lane	Eligible
KEC-460	House/881 Highway Ave	Eligible
KEC-462/KECL-816	Glier's Goetta/Goetta Place	Eligible
KEC-621	House/504 West 12 th Street (demolished)	Eligible
KEC-626	House/514 West 12 th Street	Eligible
KEC-628	House/516 West 12 th Street (demolished)	Eligible
KEC-817/KECL-815	Bavarian Brewery/533 Pike Street	Eligible* *This property is NRHP listed
KECL-1018	House/521 Western Ave	Eligible
KECL-1046	House/632 Western Ave	Eligible
KEFM-317	House/2 East Orchard Road	Eligible
KEC-50	Kenny's Crossing	Eligible
KEC-107	C&O Railroad Bridge	Undetermined* This property has been determined Eligible
KECL-49	Building/1100 Pike Street	Eligible
KECL-793	House/222 Berry Street	Eligible
KEFM-103	Kruempelman Farm	Listed
Various	Park Hills Historic District	Listed

³ This list does not include contributing properties to NRHP eligible or listed districts.

KHC No.	Site Name	NRHP Status
Various	Covington Downtown Historic District	Listed
Various	Lee-Holman Historic District	Listed
Various	Lewisburg Historic District	Listed
Various	Mutter Gottes Historic District	Listed
Various	Seminary Square Historic District	Listed
Various	West Side/Main Strasse Historic District	Listed
Various	Old Ft. Mitchel Historic District	Listed
Various	Ft. Mitchell Heights Historic District	Listed
Various	Beechwood Historic District	Listed
Various	Highland Cemetery Historic District	Listed
Various	Covington Downtown Boundary Increase	Listed
KEC-8	Linden Grove Cemetery	Listed
KEFM-150	Highland Cemetery	NRHP Contributing* *This property is listed

Several cultural-historic reports or survey projects which addressed portions of the project footprint or APE were identified and examined for contextual material. These are included in **Table 3** below.

Table 3. Previous Cultural-Historic Reports/Survey Projects

Date	Title	Author
2022	Cultural Historic Baseline Eligibility Survey for the KY 8 (Fourth Street) Bridge (No. 059B00037N) Project Spanning the Licking River in Covington and Newport at the Kenton and Campbell County Line, Kentucky (Item No. 6-1086.00)	Sarah J. Reynolds, Melissa Butler, and Lauren Poole/ CRA, Inc.
2020	PA2- I-75/71 - Brent Spence Bridge (6-10025)	KYTC DEA
2012	Brent Spence Bridge Replacement/Rehab- EA	Parsons Brinkerhoff
2010	History/Architecture Survey Phase 1 and 2 – Hamilton Co Ohio	Parsons Brinkerhoff/Gray and Pape
2010	History/Architecture Survey – Kenton Co. KY	Parsons Brinkerhoff/Gray and Pape
2020	PA 2 I-75/71- Brent Spence Bridge (6-17.09)	KYTC DEA
1993	Clay Wade Bailey Bridge Inspection Report	Hazelet + Erdal, Inc.

MAP AND LITERATURE REVIEW

Limited archival research was conducted in Spring 2022 in order to supplement the prior report. Primary and secondary materials were reviewed at the Kenton County Public Library, Oldham County Public Library, Kenton County Historic Society/Behringer Crawford Museum, Louisville Free Public Library, Cincinnati and Hamilton County Public Library. Research was also conducted online using the websites of the US Geological Service’s (USGS) Map Store, USACE National Levee Database, Kenton County PVA, US Library of Congress, the Greater Cincinnati Memory Project, Faces and Places- Northern Kentucky Photographic Archive, Northern Kentucky Views, and the UK Map Library. Older maps reviewed are listed in **Table 4**.

Table 4. Maps of Project Area

Date	Title	Author
1877	<i>City Atlas of Covington, Kentucky</i>	Hopkins
1883	<i>Atlas of Boone, Kenton, and Campbell Counties</i>	Lake
1886-1954	<i>Sanborn Fire Insurance Map for Covington</i>	Sanborn Co.
1909-1949	<i>Sanborn Fire Insurance Maps of Fort Mitchell</i>	Sanborn Co
1914	<i>USGS Topographic Map for West Cincinnati, KY Quadrangle</i>	USGS
1950-1987	<i>USGS Topographic Map for Covington, KY Quadrangle</i>	USGS
1936	<i>City Map of Covington KY and Environs</i>	Kentucky Department of Highways

SURVEY METHODOLOGY

In June and July 2022, Cardno’s architectural history team, led by Christopher Harris, Jennifer Ryall, and Rachel M Kennedy, surveyed the project APE for properties that appear to meet the 50-year age consideration for the NRHP with the addition of a five-year buffer to account for potential project delays (i.e., built before circa 1976). Each potential historic property was photographed and a preliminary assessment of integrity and NRHP eligibility was conducted.

Previously-listed NRHP districts were surveyed as one property with an accompanying KHC group survey form (2017-2), per KTYC/DEA and KHC/SHPO guidance, unless individual properties therein would receive a direct impact, such as a taking. In these instances, the survey team documented individual (contributing and non-contributing) properties within the district to develop effects recommendations. All previously -listed NRHP districts within the APE were also examined to determine if their boundaries required adjustments, especially in locations where the boundaries were directly adjacent to the project footprint, due to the potential for effects. Recommendations for the district boundaries are described in the corresponding field site narratives.

Two hundred and thirty-four sites were surveyed, of which twenty (20) were removed due to their location outside of the APE, per request in September 2022 by KHC/SHPO and KYTC. The remaining two-hundred and fourteen (214) field sites were examined which included entire parcels, as defined by the Kenton County PVA Office. The majority of field survey was on the exterior of the properties from the public right-of-way. If a property had potential eligibility and good integrity, an effort was made to gain direct access to the exterior of each building on the property. General landscape photographs were also taken. The project area was also surveyed for potential historic districts. Platted subdivisions were examined during field reconnaissance survey, both inside and outside the APE, to determine if there was sufficient integrity and continuity for potential NRHP districts. There were few access limitations in the project area.

Standing resources are considered eligible for the NRHP if they possess integrity of location, design, setting, materials, workmanship, feeling, and association, and meet Criteria A, B, or C on the local, state, or national level.

Criterion A: associated with events that have made a significant contribution to the broad patterns of our history;

Criterion B: associated with the lives of persons significant in our past;

Criterion C: embodies distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

KHC inventory forms, photographs, and mapping, as well as site plans, as needed, were prepared using guidelines set forth by KHC in *Specifications for Conducting Fieldwork and Preparing Cultural Resource Assessment Reports*, revised in 2001/2006/2017, and in *Instructions for Completing the Individual Buildings Survey Form* (2017/2021).

SUMMARY OF RECOMMENDATIONS

Cardno performed field survey on 214 field sites of sufficient age to be potentially eligible for listing in the NRHP (**Table 5**). There are twenty-four (24) historic properties either listed in or recommended eligible for the NRHP as a result of this work. Of these, five (5) are previously listed historic districts and two (2) are newly recommended historic districts. As well, there are seventeen (17) individual properties that include bridges, urban houses, a twentieth century hotel, a cemetery, a convent, and a brewery building with bottling works. Most of the eligible properties are houses, of varying styles, types, and vintages, but there are also three bridges and one levee system. These NRHP eligible or listed properties are shaded in grey in the table below. Properties that contribute to the districts are highlighted in orange, while previously recorded KHC sites are noted by an asterisk next to their KHC site number.

Table 5. Brent Spence Bridge, Field Survey Sites

Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
1	KECL-1029*	House	640 Western Avenue	Not Eligible	N/A
2	KECL-1049*	House	638 Western Avenue	Not Eligible	N/A
3	KECL-1050*	House	636 Western Avenue	Not Eligible	N/A

Brent Spence Bridge Renewal Project Cultural-Historic Report in Covington, Kenton County, KY

Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
4	KECL-1046*	House	632 Western Avenue	Not Eligible	N/A
5	KECL-1014*	House	635 Western Avenue	Not Eligible	N/A
6	KECL-1030*	House	530 Western Avenue	Not Eligible	N/A
7	KECL-1037*	House	633 Western Avenue	Not Eligible	N/A
8	KECL-1031*	House	622 Western Avenue	Not Eligible	N/A
9	KECL-1015*	House	619 Western Avenue	Not Eligible	N/A
10	KECL-1039*	House	615? Western Avenue	Not Eligible	N/A
11	KECL-1051*	House	616 Western Avenue	Not Eligible	N/A
12	KECL-1016*	House	611 Western Avenue	Not Eligible	N/A
13	KECL-1038	House	607 Western Avenue	Not Eligible	N/A
14	KECL-1032*	House	606 Western Avenue	Not Eligible	N/A
15	KECL-1033*	House	604 Western Avenue	Not Eligible	N/A
16	KECL-1017*	House	601 Western Avenue	Not Eligible	N/A
17	KECL-1058*	House	527 Western Avenue	Not Eligible	N/A
18	KECL-1018*	House	521 Western Avenue	Eligible	See Section 4

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
19	KECL-1019*	House	517 Western Avenue	Not Eligible	N/A
20	KECL-1047*	House	511 Western Avenue	Not Eligible	N/A
21	KECL-1020*	House	507 Western Avenue	Not Eligible	N/A
22	KECL-1036*	House	431 Western Avenue	Not Eligible	N/A
23	KECL-1021	House	413 Western Avenue	Not Eligible	N/A
24	KECL-1022*	House	411 Western Avenue	Not Eligible	N/A
25	KECL-1023*	House	409 Western Avenue	Not Eligible	N/A
26	KECL-1024*	House	407 Western Avenue	Not Eligible	N/A
27	KECL-1040*	House	405 Western Avenue	Not Eligible	N/A
28	KECL-1025*	House	401 Western Avenue	Not Eligible	N/A
29	KECL-1056*	House	333 Western Avenue	Not Eligible	N/A
30	KECL-1026*	House	321 Western Avenue	Not Eligible	N/A
31	KECL-1048*	House	223 Western Avenue	Not Eligible	N/A
32	KECL-1027*	House	211 Western Avenue	Not Eligible	N/A
33	KECL-1042*	House	209 Western Avenue	Not Eligible	N/A

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
34	KECL-1052*	House	207 Western Avenue	Not Eligible	N/A
35	KECL-1045*	House	205 Western Avenue	Not Eligible	N/A
36	KECL-1028*	House	203 Western Avenue	Not Eligible	N/A
37	KEC-457*	House	801 Highway Avenue	Not Eligible	N/A
38	KEC-461*	Commercial	821 Highway Avenue	Not Eligible	N/A
39	KEC-1050	Stone Wall	Southside Highway Avenue	Not Eligible	N/A
40	KEC-460*	House	831 Highway Avenue	Eligible	See Section 4
41	KEC-1039	House	312 Wright Street	Not Eligible	N/A
42	KEC-1040	House	310 Wright Street	Not Eligible	N/A
43	KEC-1042	House	308 Wright Street	Not Eligible	N/A
44	KEC-1044	House	306 Wright Street	Not Eligible	N/A
45	KEC-1041	House	309 Wright Street	Not Eligible	N/A
46	KEC-1043	House	307 Wright Street	Not Eligible	N/A
47	KEC-1045	House	305 Wright Street	Not Eligible	N/A
48	KEC-1046	House	303 Wright Street	Not Eligible	N/A

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
49	KEC-1047	House	301 Wright Street	Not Eligible	N/A
50	KEC-1048	Futuro House	224 Wright Street	Eligible	See Section 4
51	KEC-1049	House	214 Wright Street	Not Eligible	N/A
52	KECL-1034*	House	641 Crescent Avenue	Not Eligible	N/A
53	KECL-1035*	Stone wall	637 Crescent Avenue	Not Eligible	N/A
54	KECL-1036*	House	635 Crescent Avenue	Not Eligible	N/A
55	KECL-1053*	House	625 Crescent Avenue	Not Eligible	N/A
56	KECL-1057*	House	619 and 621 Crescent Avenue	Not Eligible	N/A
57	KECL-1054*	House	615 Crescent Avenue	Not Eligible	N/A
58	KECL-1055*	House	611 Crescent Avenue	Eligible	See Section 4
59	KECL-1059*	House	609 Crescent Avenue	Not Eligible	N/A
60	KECL-1044*	House	603 and 601 Crescent Avenue	Not Eligible	N/A
61	KEC-1053	Commercial	320 Crescent Avenue	Not Eligible	N/A
62	KEC-1052	Commercial	677 West 3 rd Street	Not Eligible	N/A
63	KEC-1056	Commercial	669 West 3 rd Street	Not Eligible	N/A

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
64	KEC-1054	Commercial	673 West 3 rd Street	Not Eligible	N/A
65	KEC-1051	Commercial	680 West 3 rd Street	Not Eligible	N/A
66	KEC-1055	Commercial	670 West 3 rd Street	Not Eligible	N/A
67	KEC-1057	Commercial	666 West 3 rd Street	Not Eligible	N/A
68	KEC-1060	Hotel	600 West 3 rd Street	Not Eligible	N/A
69	KEC-1061	Commercial	617 West 3 rd Street and 311 Philadelphia Street	Not Eligible	N/A
70	KEC-1059	Commercial	617 West 3 rd Street #2	Not Eligible	N/A
71	KEC-1064	Commercial	402 Bakewell Street	Eligible	See Section 4
72	KEC-430*	Commercial	407 Main Street	Not Eligible	N/A
73	KEC-1067	Commercial	435 Main Street	Not Eligible	N/A
74	KEC-1066	Commercial	434 Main Street	Not Eligible	N/A
75	KEC-107*	C & O Railroad Bridge	Ohio River	Eligible	See Section 4
76	KEC-1038	Quality Inn	626 West 5 th Street	Eligible	See Section 4
77	KEC-820*	Brent-Spence Bridge	Ohio River	Eligible	See Section 4
78	KEC-1068	Covington Levee System	South of Ohio River	Eligible	See Section 4

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
79	KEC-1035	Pedestrian Bridge	Southwest of W. 5 th Street and Philadelphia Street intersection	Not Eligible	N/A
80	KEC-1033	Goebel Park	501 Philadelphia Street	Not Eligible	N/A
81	KEC-1034	Commercial	500 Philadelphia Street	Not Eligible	N/A
82	KEC-1016	Commercial	928 Willow Run	Not Eligible	N/A
83	KEC-1015	Commercial	902-926 Willow Run	Not Eligible	N/A
85	KECL-815*	Bavarian Brewing Company/Kenton Co Govt	1840 Simon Kenton Way	Listed/Eligible as Contributing to West Side/Main Strasse expansion	See Section 4
86	KEC-626*	House	514 W. 12th Street	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
87	KEC-1013	House	512 W. 12th Street	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
88	KECL-918*	House	510 W. 12th Street	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
89	KEC-462*	Bavarian Brewery Bottling Works/Glier's Goetta	533 Goetta Place	Eligible/Contributing to Bavarian Brewing Company and West Side/Main Strasse expansion	See Section 4
90	KECL-864*	Commercial	511-519 Pike Street	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
91	KECL/ KEC-817*	Commercial	533-535 Pike Street	Not Eligible	N/A
92	KEC-1012	Commercial	555 Pike Street	Not Eligible	N/A

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
93	KECL-692*	House	536 W. 13th Street	Eligible	See Section 4
94	KEC-1011	House	534 W. 13th Street	Eligible	See Section 4
95 & 96	KECL-221	Commercial	617 Hinde Street	Not Eligible	N/A
97	KE-985	House	506 Scenic Drive	Not Eligible	N/A
98	KE-986	House	507 Scenic Drive	Not Eligible	N/A
99	KE-989	House	512 Scenic Drive	Not Eligible	N/A
100	KE-988	House	510 Scenic Drive	Not Eligible	N/A
101	KE-987	House	508 Scenic Drive	Not Eligible	N/A
102	KE-964	Apartment Building	1200 Elberta Circle	Eligible/Contributing to Elberta Apartments Historic District	See Section 5
103	KE-953	Apartment Building	502 St. Joseph Lane	Eligible/Contributing to Elberta Apartments Historic District	See Section 5
104	KE-954	Apartment Building	504 St. Joseph Lane	Eligible/Contributing to Elberta Apartments Historic District	See Section 5
105	KEC-459	Apartment Building	505 St. Joseph Lane	Eligible/Contributing to Elberta Apartments Historic District	See Section 5
106	KE-924	Commercial	1901 Dixie Highway	Not Eligible	N/A
107	KE-923	Hotel	1937 Dixie Highway	Not Eligible	N/A

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
108	KEFM-308*	House	4 Leslie Avenue	Not Eligible	N/A
109	KEFM-309*	House	15 Leslie Avenue	Not Eligible	N/A
110	KEFM-310*	House	13 Leslie Avenue	Not Eligible	N/A
111	KEFM-311*	House	11 Leslie Avenue	Not Eligible	N/A
112	KEFM-312*	House	9 Leslie Avenue	Not Eligible	N/A
113	KEFM-313*	House	13 Leslie Avenue	Not Eligible	N/A
114	KEFM-314*	House	5 E. Orchard Road	Not Eligible	N/A
115	KEFM-306*	House	10 E. Orchard Road	Not Eligible	N/A
116	KEFM-307*	House	8 E. Orchard Road	Not Eligible	N/A
117	KEFM-315*	House	6 E. Orchard Road	Not Eligible	N/A
118	KEFM-316*	House	3 E. Orchard Road	Not Eligible	N/A
119	KEFM-317*	House	2 E. Orchard Road	Not Eligible	N/A
120	KEFM-318*	Commercial	2011 Dixie Highway	Not Eligible	N/A
121	KE-921	House	2009 Dixie Highway	Not Eligible	N/A
122	KE-922	Commercial	2001 Dixie Highway	Not Eligible	N/A

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
123	KEFM-319*	House	2021 Dixie Highway	Not Eligible	N/A
124	KEFM-320*	Apartment Building	2025 Dixie Highway	Not Eligible	N/A
125	KEFM-321*	House	2029 Dixie Highway	Not Eligible	N/A
126	KEFM-322*	House	2033 Dixie Highway	Not Eligible	N/A
127	KEFM-323*	House	2037 Dixie Highway	Not Eligible	N/A
128	KEFM-324*	Office Building	2039 Dixie Highway	Not Eligible	N/A
129	KEFM-325*	Office Building	2045 Dixie Highway	Not Eligible	N/A
130	KEFM-326*	Office Building	2049 Dixie Highway	Not Eligible	N/A
131	KEFM-327*	Fort Mitchell Public House	2053 Dixie Highway	Not Eligible	N/A
132	KE-915	Office Building/Fort Mitchell Executive Center by Drees	211 Grandview Drive	Not Eligible	N/A
134	KE-659	Ranch House	244 Beechwood Road	Not Eligible	N/A
135	KE-990	Ranch House	214 Ana Jo Lane	Not Eligible	N/A
136	KEFM-334	Half-Courtyard Ranch House	216 Ana Jo Lane	Not Eligible	N/A
137	KEFM-331*	Ranch House	40 Ashton Road	Not Eligible	N/A
138	KE-916	House	36 Ashton Road	Not Eligible	N/A

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
139	KE-917	House	34 Ashton Road	Not Eligible	N/A
140	KE-918	House	32 Ashton Road	Not Eligible	N/A
141	KEFM-305*	House	28 East Orchard Road	Not Eligible	N/A
142	KEFM-304*	House	30 East Orchard Road	Not Eligible	N/A
143	KEFM-301*	House	31 East Orchard Road	Not Eligible	N/A
144	KEFM-302*	House	29 East Orchard Road	Not Eligible	N/A
145	KEFM-290*	Central Church of the Nazarene	2006 Pieck Drive	Not Eligible	N/A
146	KEFM-289*	House	2000 Pieck Drive	Not Eligible	N/A
147	KEFM-287*	House	1953 Pieck Drive	Not Eligible	N/A
148	KE-926	House	53 Rivard Drive	Eligible/Contributing to Hillsdale Historic District	See Section 5
149	KE-925	Tudor Revival House	51 Rivard Drive	Eligible/Contributing to Hillsdale Historic District	See Section 5
150	KEC-458	Tudor Revival House	45 Rivard Drive	Eligible and Eligible/Contributing to Hillsdale Historic District	See Section 4
151	KE-927	House	15 Highview Drive	Not Eligible	N/A
157	KE-932	House	1606 Marcella Drive	Not Eligible	N/A
158	KE-933	House	1604 Marcella Drive	Not Eligible	N/A

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
159	KE-934	House	1602 Marcella Drive	Not Eligible	N/A
160	KE-935	House	1600 Marcella Drive	Not Eligible	N/A
161	KE-936	House	1598 Marcella Drive	Not Eligible	N/A
162	KE-937	House	1596 Marcella Drive	Not Eligible	N/A
163	KE-938	House	1594 Marcella Drive	Not Eligible	N/A
164	KE-939	House	1592 Marcella Drive	Not Eligible	N/A
165	KE-940	House	1590 Marcella Drive	Not Eligible	N/A
166	KE-941	House	1588 Marcella Drive	Not Eligible	N/A
167	KE-942	House	1586 Marcella Drive	Not Eligible	N/A
174	KEC-456*	House	1000 Emery Circle	Eligible	See Section 4
178	KE-920	House	4 Page Road	Not Eligible	N/A
179	KE-919	House	2 Page Road	Not Eligible	N/A
180	KE-09	West Side/Main Strasse Historic District	Downtown Covington/East of I-75/71	Listed	See Section 5
181	KE-010	Lewisburg Historic District	Downtown Covington/West of I-75/71	Listed	See Section 5
182	KE-011	Old Fort Mitchell Historic District	Fort Mitchell/Northwest of I-75-71	Listed	See Section 5

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Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
183	KE-012	Beechwood Historic District	Fort Mitchell/Southeast of I-75-71	Listed	See Section 5
184	KE-952	Saint Joseph Heights Provincial Center	1601 Dixie Highway Park Hills, KY 41011	Eligible	See Section 4
185	KE-07 and KE-08	Elberta Apts Historic District	West side of I-75/71/Ft. Mitchell	Eligible	See Section 5
186	KEC-1058	Bridge	39.086444, - 84.522757	Not Eligible	N/A
187	KEC-1037	Bridge	39.085259, - 84.523439	Not Eligible	N/A
188	KEC-1062	Bridge	39.088177, - 84.518687	Eligible/Contributing to C&O Railroad Bridge	See Section 4
189	KEC-1063	Bridge	39.0876, -84.51841	Eligible/Contributing to C &O Railroad Bridge	See Section 4
190	KEC-1065	Bridge	39.085766, - 84.517072	Eligible/Contributing to C&O Railroad Bridge	See Section 4
191	KEC-1069	Bridge	39.084144, - 84.515617	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
192	KEC-1070	Bridge	39.083614, - 84.514937	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
193	KEC-1071	Bridge	39.08345, - 84.51471	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
194	KEC-1072	Bridge	39.082537, - 84.513217	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
195	KEC-1073	Bridge	39.082318, - 84.512908	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
196	KEC-1074	Bridge	39.081856, - 84.512314	Eligible/Contributing to West Side/Main Strasse expansion	See Section 5
197	KEC-1019	Bridge	39.079093, - 84.521412	Not Eligible	N/A

Brent Spence Bridge Renewal Project Cultural-Historic Report in Covington, Kenton County, KY

Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
198	KEC-1020	Bridge	39.07901, - 84.521615	Not Eligible	N/A
199	KEC-1018	Bridge	39.076832, - 84.519812	Not Eligible	N/A
200	KEC-1017	Bridge	39.076782, - 84.52009	Not Eligible	N/A
201	KE-951	Bridge	39.059003, - 84.538475	Not Eligible	N/A
202	KE-949	Bridge	39.056507, - 84.542853	Not Eligible	N/A
203	KE-950	Bridge	39.056626, - 84.543008	Not Eligible	N/A
205	KECL-988*	House	804 Crescent Avenue	Listed/Contributing to Lewisburg	See Section 5
206	KECL-987	House	806 Crescent Avenue	Listed/Contributing to Lewisburg	See Section 5
207	KECL-986	House	808 Crescent Avenue	Listed/Contributing to Lewisburg	See Section 5
208	KECL-983*	House	812 Crescent Avenue	Listed/Contributing to Lewisburg	See Section 5
209	KECL-115*	House	606 West 11 th Street	Listed/Contributing to Lewisburg	See Section 5
210	KECL-117*	House	608 West 11 th Street	Listed/Contributing to Lewisburg	See Section 5
211	KECL-119*	House	609 West 11 th Street	Listed/Contributing to Lewisburg	See Section 5
212	KECL-116*	House	605 West 11 th Street	Non-Contributing to Lewisburg	See Section 5

Brent Spence Bridge Renewal Project Cultural-Historic Report in Covington, Kenton County, KY

Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
213	KECL-136*	House	604 West 11 th Street	Listed/Contributing to Lewisburg	See Section 5
214	KECL-137*	House	606 West 12 th Street	Listed/Contributing to Lewisburg	See Section 5
215	KECL-176*	House	607 Watkins Street	Listed/Contributing to Lewisburg	See Section 5
216	KE-661	House	278 Beechwood Road	Not Eligible	N/A
217	KEFM-333*	House	43 Ashton Road	Not Eligible	N/A
220	KEC-1021	Radio tower	847 Philadelphia Street	Not Eligible	N/A
221	KEC-1023	House	727 Dalton Street	Listed/Contributing to West Side/Main Strasse	See Section 5
222	KEC-1024	House	725 Dalton Street	Listed/Contributing to West Side/Main Strasse	See Section 5
223	KEC-1025	House	723 Dalton Street	Listed/Contributing to West Side/Main Strasse	See Section 5
224	KEC-1026	House	721 Dalton Street	Listed/Contributing to West Side/Main Strasse	See Section 5
225	KEC-1027	House	719 Dalton Street	Listed/Contributing to West Side/Main Strasse	See Section 5
226	KEC-1028	House	707 Dalton Street	Listed/Contributing to West Side/Main Strasse	See Section 5
227	KEC-1029	House	651 Dalton Street	Listed/Contributing to West Side/Main Strasse	See Section 5
228	KEC-1030	House	649 Dalton Street	Listed/Contributing to West Side/Main Strasse	See Section 5
229	KEC-1031	House	647 Dalton Street	Listed/Contributing to West Side/Main Strasse	See Section 5

Brent Spence Bridge Renewal Project Cultural-Historic Report in Covington, Kenton County, KY

Field Site No.	KHC Site No.	Name	Location	NRHP Recommendation	Effects Assessment
230	KEFM-150*	Highland Cemetery Historic District	2167 Dixie Highway	Listed	See Section 5
231	KE-013	Hillsdale Subdivision Historic District	Hillsdale Historic District	Eligible	See Section 5
232	KE-984	Apartment Building	1132-1134 Cedar Ridge Lane	Eligible/Contributing to Elberta Apartments Historic District	See Section 5
233	KEC-1075 (formerly KEC-107)	Clay Wade Bailey Bridge	39.091335, - 84.51939	Eligible	See Section 4

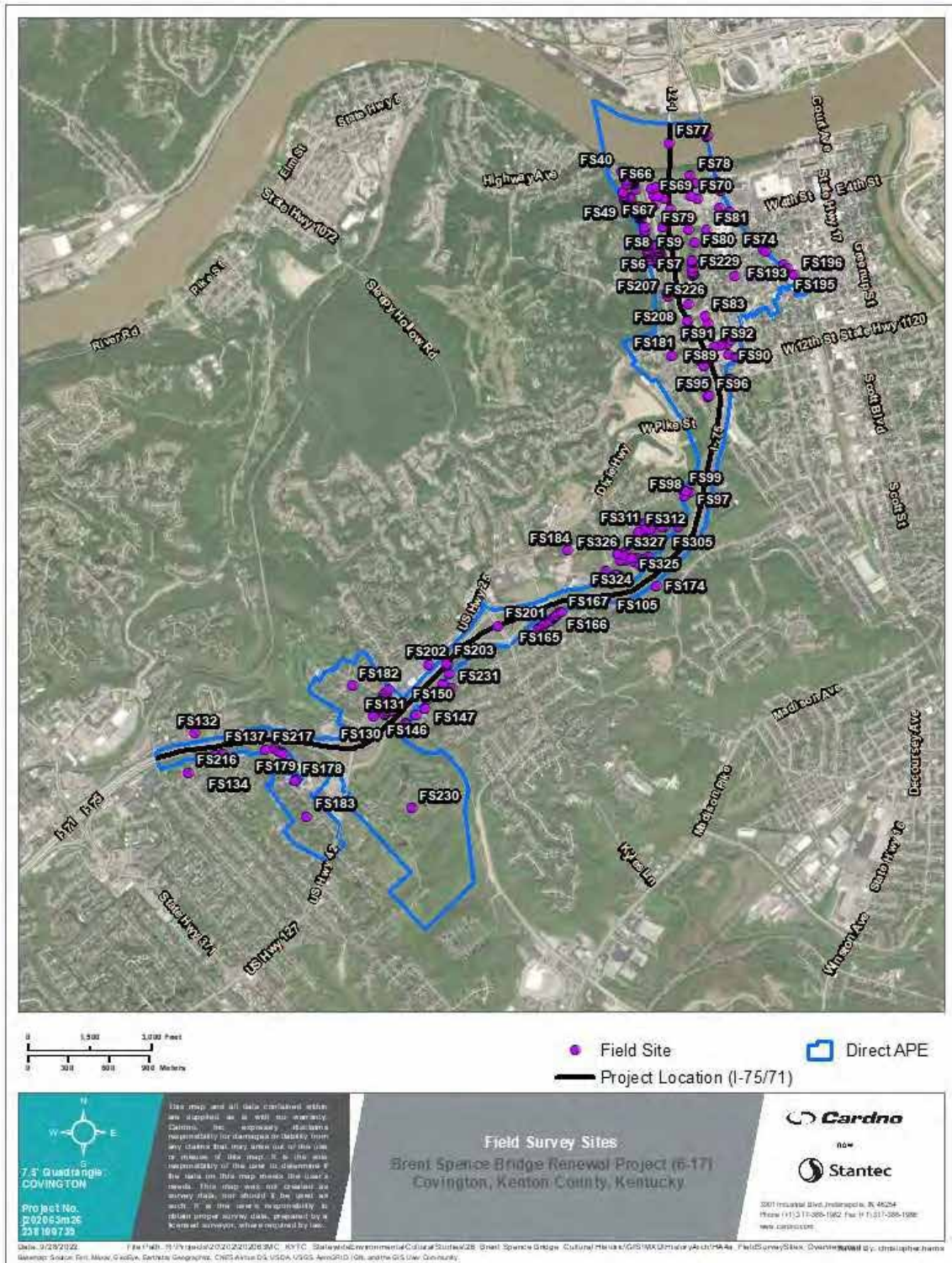


Figure 3. Field Survey Results. A full set of map results is in Appendix B.

ENVIRONMENTAL AND HISTORIC CONTEXT

ENVIRONMENTAL CONTEXT

Kenton County is located in the northern-most portion of the Bluegrass region in Kentucky (**Figure 4**). Some architectural/cultural historians refer to this region's cultural landscape as Ohio River Towns, at least for the northern portion of the county, where the main cities are located. Kenton county is bounded by the Ohio River on the north, Boone County on the west, Campbell County on the east, and Grant County and Pendleton County to the south. Sinking springs and caves are common within this region. European settlers were drawn to the land for its fertile soil, game, and rolling topography. Today, this region is the center of the thoroughbred horse industry and the most populous areas in the state: Northern Kentucky, Lexington, and Louisville.⁴ Kenton County is home to 169,495 residents across approximately 160 square miles, and has the third largest population in the state.⁵ Major roadways in Kenton County includes, I-75/71, KY-42, I-275, and KY-17. Major waterways in the county include the Ohio River and the Licking River. Health care and social assistance is the most common employment sector, which employs 13.8 percent of the workforce⁶

⁴ No author, "Appendix 1.7 Description of physiographic regions of Kentucky,"

⁵ No author, Kenton County, Kentucky accessed June 2022 online at <https://www.census.gov/quickfacts/fact/table/kentoncountykentucky/PST045221>.

⁶ Data USA, Kenton County, KY, accessed June 2022 online at <https://datausa.io/profile/geo/kenton-county-ky>.

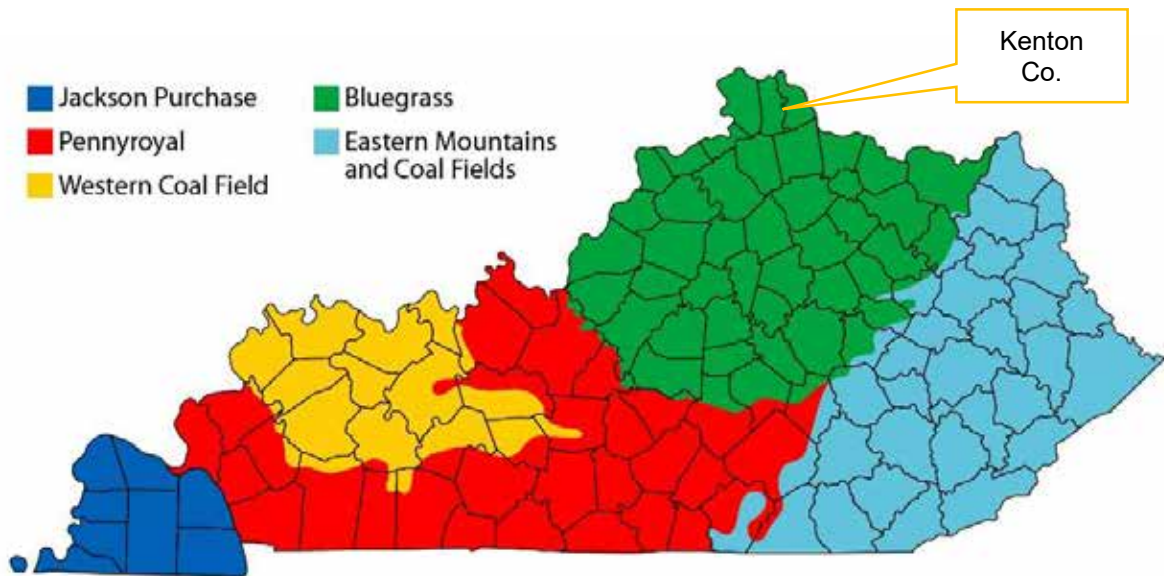


Figure 4. Kentucky's Cultural Landscape Regions Map.

Covington is one of two county seats in Kenton County; the other being Independence, which is situated in the central portion of the county. Covington was founded on the west bank of the Licking River, opposite the industrial largess of Cincinnati, Ohio in the early nineteenth century. Covington became the second county seat of Kenton County, years after its incorporation in 1834. As of 2019, 40,500 people called Covington home. Office and administrative accounting work provide employment for 11.6 percent the city's population.⁷ There are sixteen historic districts listed on the National Register. Annual events include Mainstrasse Oktoberfest, the Original Goetta Festival, and the First Friday Gallery Hop⁸ Other towns in the county include Ludlow, Fort Mitchell, Fort Wright, Fiskburg, Atwood, Morning View, Nicholson, and others.

⁷ No author, Covington, KY, accessed August 2022 online at <https://datausa.io/profile/geo/covington-ky/>.

⁸ Kentucky Department of Tourism, Covington, accessed June 2022 online at <https://www.kentuckytourism.com/covington/attractions/main-streets/covington>.

HISTORIC CONTEXT

Kenton County was originally created in 1840 from 165 square miles of Campbell County. The county was the ninetieth formed in the state and named in honor of a Euro-American frontiersman Simon Kenton.⁹ General Simon Kenton (1755-1836) born in Virginia and known as an important explorer and settler of lands in the “new west,” such as Kentucky.¹⁰

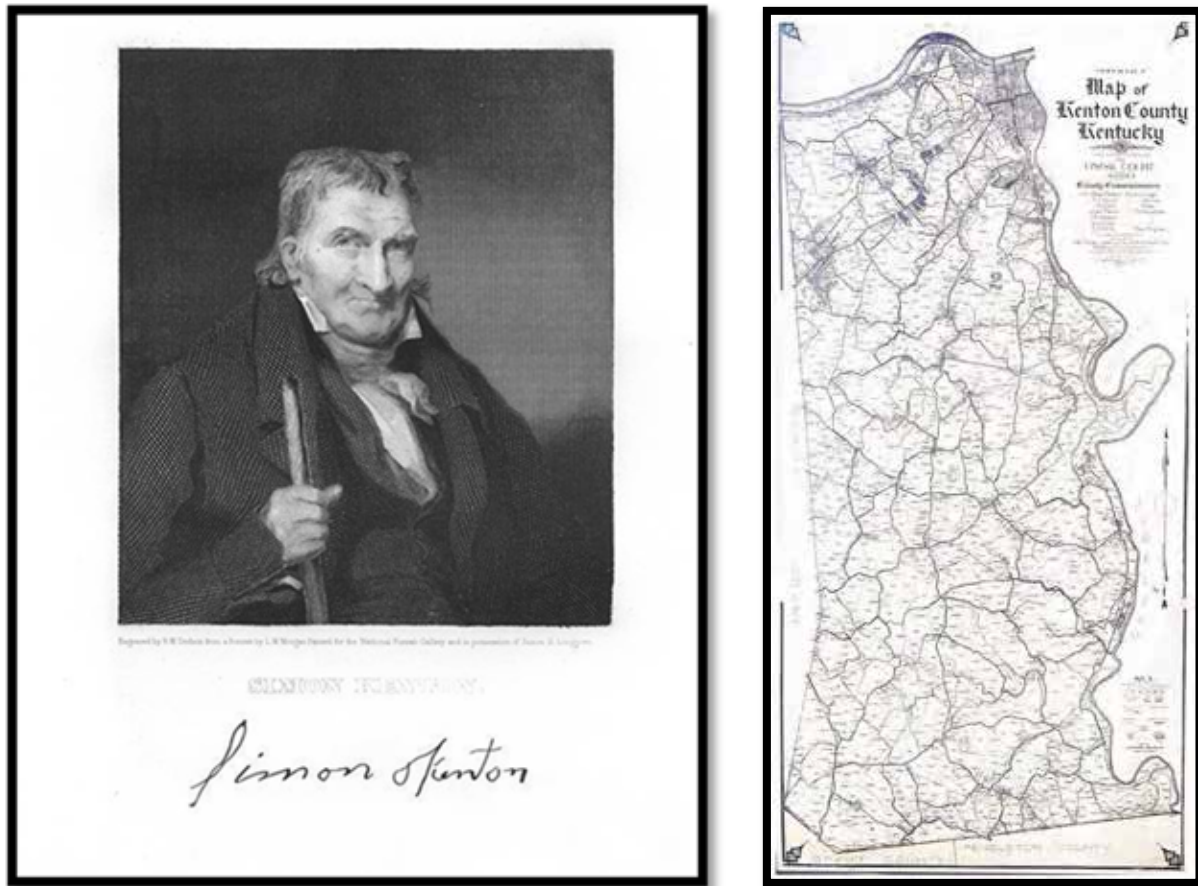


Figure 5. Left: Circa 1830 sketch of Simon Kenton with signature.¹¹
Right: 1914 map of Kenton County, Kentucky.¹²

Once Kenton County was formed, John McCollum donated five acres of his land near the middle of the county to be used as a county seat. The tract of land was named Independence and a courthouse was built.¹³ Many residents of the county were unhappy with the location of the county seat, as the majority of residents lived in Covington and accessing the courthouse was difficult. In the 1860s, the county

⁹ Robert A. Powell, 120 Kentucky Counties, KY Images (Lexington, KY), 1989, 33.

¹⁰ The Kentucky Historical Society, Update: Guide to Kentucky Historical Highway Markers, 1989, 1168.

¹¹ “Simon Kenton, Frontiersman”, *Frontier Folk*. Accessed online July 2022 at <http://www.frontierfolk.org/kenton.htm>.

¹² Map is on display at the Local History and Genealogy Department and the Covington Branch of the Kenton County Library.

¹³ Karl Lietzenmayer, An Overview of Kenton County, *Bulletin of the Kenton County Historical Society*. 2012, 4.

announced that the Kenton Circuit Court would meet in Covington, essentially creating another county seat. Today, there are still two county seats in Kenton: Independence and Covington.¹⁴

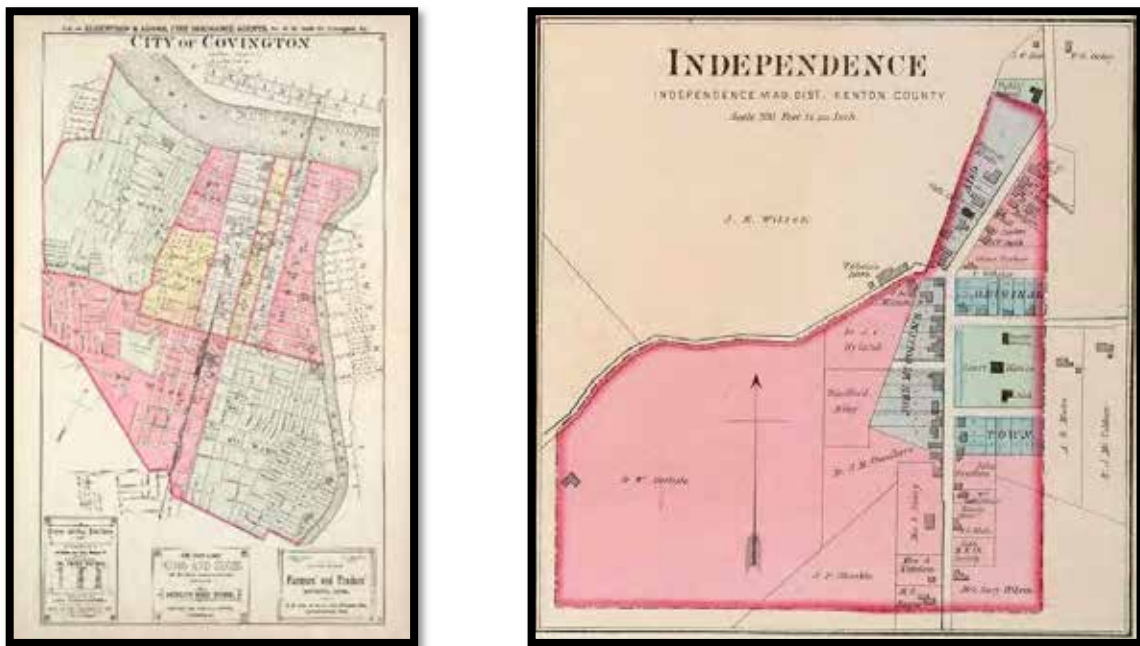


Figure 6. 1883 maps of Covington and Independence, Kentucky.¹⁵

Kenton County is home to many towns and communities, established in the early-to-mid nineteenth century, outside of Covington. Ludlow was a community settled by families wanting to live separated from larger urban areas, such as Cincinnati or Covington. Initially, the area was platted and attempted to be developed as Hygeia, an important, albeit failed, development based on English garden town planning principles of the early nineteenth century. In 1836, all of the land that makes up present-day Ludlow was sold to Israel Ludlow. Ludlow was the son of the man who platted Cincinnati. In 1864, a charter was granted for the area and the small town was named for Israel Ludlow, who still owned most of the land.¹⁶

Bromley is another town in Kenton County significant to the county's history. Present day Bromley was settled by the Perry family in 1784 after purchasing 2,000 acres from the government. Residents of Bromley were able to live in a small town and easily commute to Covington for work once the Dry Creek Turnpike was constructed in the mid-1800s, making Bromley a desirable place to live. Charles Collins purchased some land from the Perry estate and began turning this land into a small town in 1848.

¹⁴ Karl Lietzenmayer, *An Overview of Kenton County*, Bulletin of the Kenton County Historical Society. 2012, 4-5.

¹⁵ B. N. Griffing, *An Atlas of of Boon, Kenton and Campbell Counties*, (Philadelphia: D. J. Drake and Company, 1883), 26-27 and 43.

¹⁶ *Ibid.*, 6.

Collins named the area Bromley after Bromley, England, his birthplace. The town was a success and Bromley was incorporated as a town in 1890.¹⁷

Covington

In 1751 Christopher Gist, agent for the Ohio Company, was the first known settler of European descent in the area.¹⁸ The land was sold several times before Thomas Kennedy purchased it in 1791. Here, Kennedy established a farm, a ferry, and a tavern.¹⁹ Kennedy sold 150 acres of land in 1814 and the following year Kentucky legislature approved an act creating the town of Covington.²⁰ The town was named Covington in honor of General Leonard Covington for his exemplary service in the War of 1812.²¹ By 1830, the town was home to 715 residents, a schoolhouse, a log church, and multiple inns.²² Covington became an incorporated city in 1834 as Irish and German immigrants began moving to the city in droves.²³ In 1843, the courthouse was constructed and within seven years Covington was the second largest city in the state.²⁴ In 1850, Kenton County was formed and Covington became one of two county seats.²⁵

¹⁷ No author, History of Bromley, accessed July 2022 online at <https://www.cityofbromley.com/HistoryofBromley.aspx>

¹⁸ The Kentucky Historical Society, Update: Guide to Kentucky Historical Highway Markers, 1989, 1472.

¹⁹ Kleber, John E, The Kentucky Encyclopedia, Lexington: The University Press of Kentucky, 1992. 236.

²⁰ Ibid. 236.

²¹ Robert A. Powell, 120 Kentucky Counties, KY Images (Lexington, KY), 1989, 33.

²² Kleber, 236.

²³ No author, Covington: History, accessed August 2022 online at <http://cincy.com/home/neighborhoods/parms/1/hood/covington/page/history.html>

²⁴ No author, Covington: History; Kleber, 236.

²⁵ Kleber, 236.

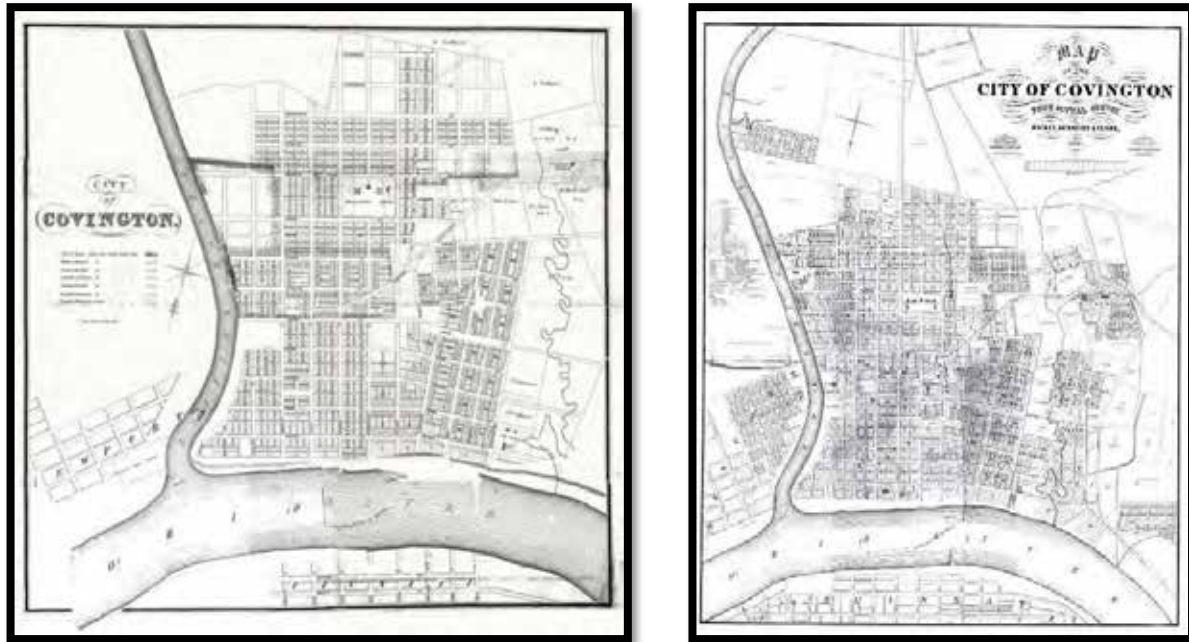


Figure 7. Historic Maps of Covington, Kentucky. Left: 1840 map. Right 1851 map.²⁶

Covington’s boundaries expanded in the early twentieth century, mostly due to annexation measures. Covington annexed Peaselburg in 1906 and Latonia and West Covington in 1909 which resulted in a large increase in the overall population. The city’s population peaked in 1930 at 66,252 residents as people from Eastern Kentucky moved to Covington looking for work during the Great Depression.²⁷ Covington’s economic health has always been tied to its northern neighbor, Cincinnati.

Cincinnati

New Jersey native, Matthias Denman, first purchased the land that would eventually become Cincinnati. Denman formed an alliance with Colonel Robert Patterson and John Filson in 1788 with the hopes of turning the tract of land into a successful city. Patterson was an ideal partner due to his “enterprising spirit” that could influence people to settle in the area. Filson, a former teacher, was chosen for his ability to survey the land. The men named the land “Losantiville,” which means “the village opposite of the mouth.”²⁸ Unfortunately, Filson died before he could survey the land and Israel Ludlow was tasked with surveying the land. Ludlow took inspiration from Philadelphia and laid out Losantiville in a grid pattern. At the time, the town extended north to present-day Seventh Street; Central Avenue to Broadway; with the river front was used as a public landing.²⁹

²⁶

²⁷ Kleber, 237.

²⁸ “Mouth” refers to the mouth of the Licking River.

²⁹ Jeff Sues, Cincinnati’s beginning: the origin of the settlement that became this city, accessed June 2022 online at <https://www.cincinnati.com/story/ourhistory/2013/12/28/cincinnati-beginning-the-origin-of-the-settlement-that-became-this-city/5363707/>

The first Euro-American cabin in the town was constructed in 1788.³⁰ In 1790, the name changed from Losantiville to Cincinnati, due to popular discontent with the original name.³¹ The town grew quickly and by 1794 Francis Menessier relocated to the town after being banished from France. Here he became a baker and an inn keeper.³² In the following year there were roughly 500 residents and “public buildings,” such as a log jail, a schoolhouse, and a Presbyterian church.³³

Cincinnati continued to grow throughout the nineteenth century as people from across the United States migrated to the city. A large number of German immigrants also moved to Cincinnati in the 1840s. As the population diversified, conflict arose between Protestants and Catholics; white people and African American people; and abolitionists and anti-abolitionists. The city was also experiencing economic change. According to *A Treatise on Domestic Economy* by Catherine Beecher, “Persons in poverty are rising to opulence, and persons of wealth are sinking to poverty.”³⁴

Towards the end of the nineteenth century, Cincinnati began annexing smaller surrounding towns. The city was not experiencing the same population increase as it had in previous years, so in order to compete with cities such as Chicago, Cincinnati expanded its boundaries to appear as though its population had increased. The city continued to acquire surrounding towns into the twentieth century and eventually the city expanded from six square miles to 80 square miles. The city center became more and more industrialized throughout the twentieth century. Large factories, hog pens, and tanneries led to the city earning the nickname, “Porkopolis.” Industries polluted the air, waterways became industrial sewers, and the city quickly became overcrowded.³⁵

³⁰ Lewis Collins, *History of Kentucky*, published by author (Louisville, KY), 1877, 434.

³¹ Jeff Suess, *Cincinnati’s beginning: the origin of the settlement that became this city*, accessed June 2022 online at <https://www.cincinnati.com/story/ourhistory/2013/12/28/cincinnati-beginning-the-origin-of-the-settlement-that-became-this-city/5363707/>.

³² Henry A. Ford, *A History of Cincinnati, Ohio with illustrations and biographical sketches*, 1881, 47.

³³ Henry A. Ford, *A History of Cincinnati, Ohio with illustrations and biographical sketches*, 1881, 47.

³⁴ Kathryn Kish Sklar, “Life in Nineteenth- Century Cincinnati,” <https://www.loc.gov/item/ihas.200152680/>

³⁵ Tim Burke, *The New City: The Evolution of Cincinnati from the 1880’s-1930’s*, accessed June 2022 online at <https://www.cincinnatihistory.org/post/the-new-city-the-evolution-of-cincinnati-from-the-1880-s-1930-s>

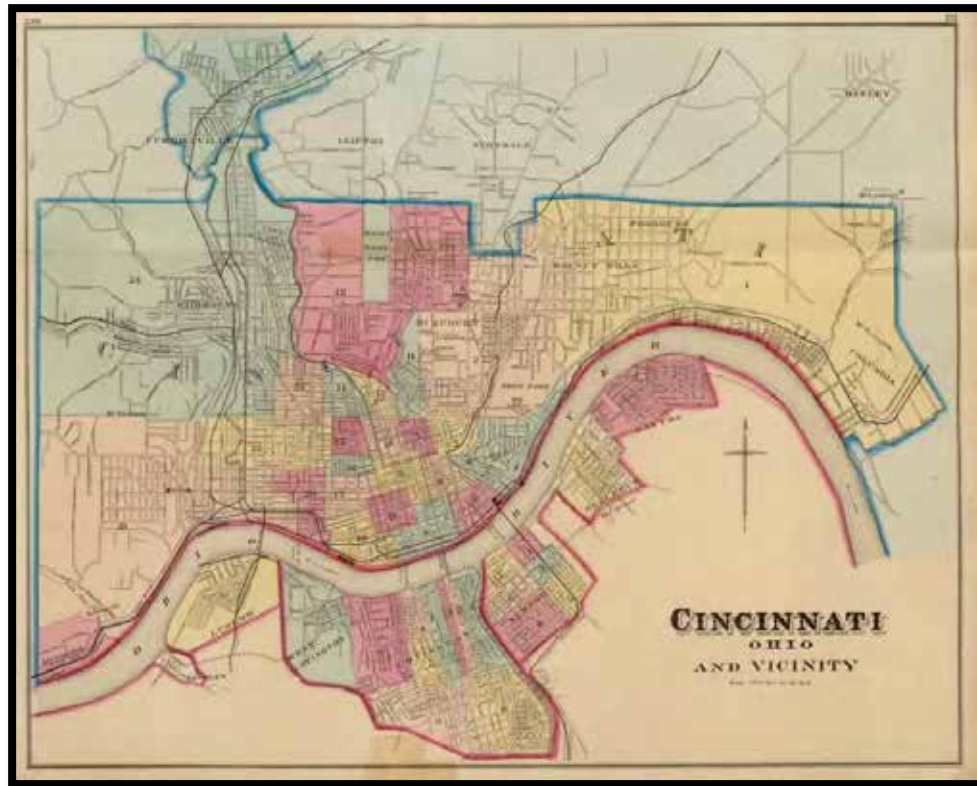


Figure 8. 1877 map of Cincinnati, Ohio.³⁶

Cincinnati has become a national a cultural hub and an industrial hub. The city is home to a symphony orchestra, multiple art museums, the Cincinnati Opera, and several colleges and universities. Industries in the area include metal products, pharmaceuticals, textiles, soap products, and more. Cincinnati is also home to the Cincinnati Reds, the nation’s oldest professional baseball team.

WATERWAYS AND FLOODING IN NORTHERN KENTUCKY

Ohio River

The Ohio River begins in Pittsburgh, Pennsylvania at the confluence of the Allegheny and Monongahela rivers and terminated in Cairo, Illinois at the Mississippi River. Rene Robert Cavalier Sieur de La Salle was one of the people Europeans to see the Ohio River in 1669. In the seventeenth and eighteenth centuries, the river served as a border between the British settlers in Kentucky and the Native Americans in Ohio. As British settlers moved westward, the Ohio River was used for transportation purposes and people began settling along its banks.³⁷

³⁶ Eli L. Hayes, “Cincinnati, Ohio and Vicinity”, *Illustrated Atlas of the Upper Ohio River and Valley from Pittsburgh, Pa. to Cincinnati, Ohio*, (Philadelphia: Titus, Simmons and Titus, 1877), 230-231. Accessed online July 2022 at <https://www.oldmapsonline.org/en/Cincinnati>.

³⁷ Ohio History Central, Ohio River, accessed August 2022 online at https://ohiohistorycentral.org/w/Ohio_River.

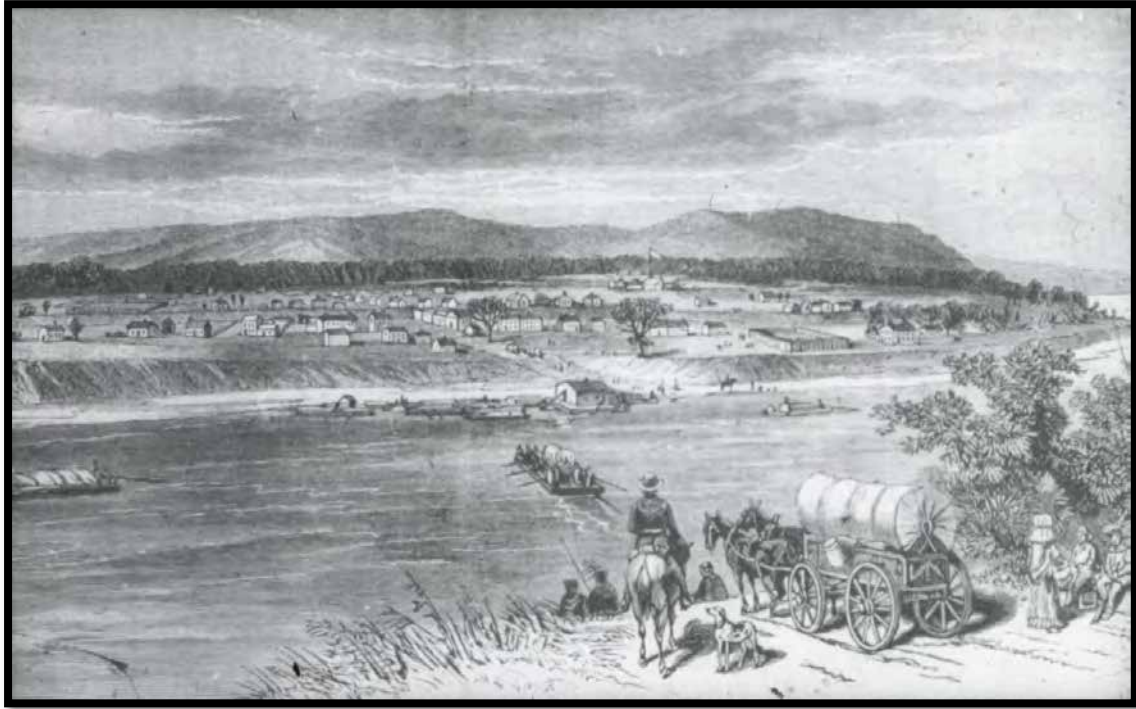


Figure 9. 1802 drawing of wagons being ferried across the Ohio River to Cincinnati.³⁸

In the nineteenth century the Ohio River became an important route for commercial use. Manufacturers and farmers could send their crops and products west to the Mississippi River and down to New Orleans via flatboats. Once in New Orleans, things could be placed on a ship and delivered to large ports in the northeastern states. Despite modern forms of transportation, the Ohio River is still used to transport things such as coal, grain, and other bulk items.³⁹

³⁸ Image accessed online July 2022 at <https://digital.cincinnati.library.org/digital/collection/p16998coll6/id/3800/rec/9>.

³⁹ Ohio History Central, Ohio River.



Figure 10. 1830 drawing of Cincinnati's Public Landing.⁴⁰

Willow Run Creek

Willow Run Creek traversed the west side of Covington's original boundaries and provided an ample water source for early settlers.⁴¹ The creek was utilized for nineteenth century steam-based industries, such as the Bavarian Brewery (FS 85/KECL-815), who used the creek for both production and cold storage for beer.⁴² Connectivity between Covington's West side neighborhoods and Lewisburg was limited to a viaduct across Pike Street, due to the presence of this waterway.⁴³

Over the years, Willow Creek became the location of informal local dumping grounds that eventually "filled-in" areas of the creek. Some of these areas became used as parks, such as the location of Goebel Park at 6th Street and Philadelphia (FS 80/KEC-1033). In 1957, the federal government purchased most of the land along Willow Run for construction of Interstate 75/71.⁴⁴ Willow Run Creek supposedly remains extant under the interstate highway running through "underground pipes."

⁴⁰ Image accessed online July 2022 at

<https://digital.cincinnati.org/digital/collection/p16998coll6/id/4413/rec/5>.

⁴¹ Tenkotte and Clayppol, ed., "Willow Run," in the *Encyclopedia of Northern Kentucky*, 963.

⁴² Leah Konicki, "The Bavarian Brewing Co.," Nomination to the National Register of Historic Places, 1996, Section 8-2.

⁴³ Alex Weldon, "Lewisburg Historic District," Nomination to the National Register of Historic Places, 1993, Section 7-2.

⁴⁴ Tenkotte and Clayppol, ed., "Willow Run," in the *Encyclopedia of Northern Kentucky*, 963.

Flooding

Northern Kentucky has always struggled with extreme flooding, due to its location on the Licking River, Willow Run Creek, and the mighty Ohio River. One of the earlier devastating floods in Kenton County history took place in February 1884. The Ohio River rose to over 71 feet, 26 feet above the flood stage in 1884. During the flood, the ferry ceased operations due to the rapid currents. Schools became a place of refuge for those who lost their house. About 33 percent of Newport was under water and over 3,000 homes were evacuated.⁴⁵

Northern Kentucky suffered from two major floods in 1907. The first flood of the year happened in mid-January. The water rose to 65.2 feet as the frigid wind and snow prevented rescuers from reaching those in danger. Thousands of residents in Newport were forced to evacuate. As Northern Kentucky began to recover, another devastating flood hit a couple of months later in March. The water rose to 62.1 feet. Many buildings that had not collapsed in the January flood were structurally compromised and were therefore destroyed by the March flood. The land was still damp and recovering from the January flood so when the March flood came, the area suffered from more mudslides and sinking roads than they had before.⁴⁶

The area suffered from two more devastating floods in 1913. These floods, along with a destructive and deadly flood in Dayton, Ohio led to the creation of the Flood Control Act of 1936. The act provided funding for construction costs associated with flood control, while city governments paid for the right-of-way costs.⁴⁷ Unfortunately, this act came too late to prevent the damage that would come with the Great Flood of 1937.⁴⁸ In 1937, over the course of ten days, the Ohio River rose to 79.99 feet, more than 27 feet above flood stage. It effected ten states and some communities were almost 50 percent under water. Fifty thousand Northern Kentucky residents were homeless, and the communities suffered approximately one million dollars in property damage.⁴⁹

⁴⁵ Paul A. Tenkotte and James C. Claypool, *Northern Kentucky Encyclopedia*, Lexington: The University Press of Kentucky, 2009. NKY Encyclopedia, 345.

⁴⁶ Paul A. Tenkotte and James C. Claypool, *Northern Kentucky Encyclopedia*, 348.

⁴⁷ Ibid.

⁴⁸ Paul A. Tenkotte and James C. Claypool, *Northern Kentucky Encyclopedia*, 349

⁴⁹ Charles Parrish et al., "Flood Control," *Encyclopedia of Kentucky*, 345-347.



Figure 11. Aerial view of Covington, Kentucky during the 1937 flood.⁵⁰



Figure 12. Images of Covington, Kentucky during the 1937 flood.⁵¹ Left: Intersection of Sixth and Main Streets, looking north. Right: Intersection of Fifth and Philadelphia Streets, looking NW.

In 1945, Covington raised a \$600,000 bond to cover their share of flood control costs outlined by the 1936 act. By 1950, the project was well underway and expected to cost \$9.2 million, of which 8.4 million was spent for construction and 80,000 dollars for lands and non-federal damages. The work was done by the Army Corps of Engineers, Louisville District with Thomas Scalise and Lieutenant Colonel C. Bidgood

⁵⁰ Image accessed online July 2022 at <https://digital.cincinnati.org/digital/collection/p16998coll11>.

⁵¹ Ibid.

overseeing the private contractors. The 2.84 miles of earthen levee and the ten pumping stations were built between 1948 to 1955.⁵² While Northern Kentucky still experiences flooding, the levee and pump stations have helped significantly reducing the amount of damage done and the number of lives lost due to flooding.

TRANSPORTATION IN KENTON COUNTY AND COVINGTON

Early Transportation

Early transportation was accomplished along the Ohio River by steamboat and ferry in the late eighteenth and early nineteenth centuries. At the same time, the Covington and Lexington Turnpike, now US 25, was forged through the wilderness to connect the fertile Inner Bluegrass lands and associated produce with the industrial centers of Cincinnati and Covington. Largely unpaved, the road provided access by horse and wagon to Lexington and the surrounding region.

Like all nineteenth century towns, Covington was a walking city, that is, occupants lived in proximity to their work places and their daily lives occurred within a very small urban footprint. Until the coming of the horse-drawn streetcar in the late 1860s and the railroad network, mobility was somewhat limited.

Covington and Kenton County's Railroads and Streetcar System

Covington was/is the center of a number of important railroad lines that crossed into over the Ohio that provided employment and connectivity throughout the Northern Kentucky region. Among the most important of these was the Chesapeake and Ohio (C&O) Railroad. The C&O Railroad like all late nineteenth century railroads, was organized through a dizzying array of various other enterprises. The earliest predecessor of the C&O was the Louisa Railroad (1847), which was envisioned as a line that connected coastal Virginia to the Ohio River.⁵³ In 1865, the Virginia Central, formerly the Louisa Railroad, was reorganized to include the Covington and Ohio Railroad and became the Chesapeake and Ohio Railroad. In the early twentieth century, the C&O railroad was extended to Chicago, again through acquisition of smaller lines and construction of additional trackage. Due to the addition of the Chicago line, a substantial increase in traffic overwhelmed the Covington yard, and a new yard was constructed at Silver Grove in Campbell County. As well, coal freight from Eastern Kentucky and West Virginia created more traffic and the C&O initiated a program to elevate the lines through Covington and Newport in the 1920s. In 1929, the C&O built a new bridge (FS 75/KEC-107) to replace the circa 1888 crossing. The 1888 bridge was used as a highway bridge for automobile and truck traffic until it was replaced by the Clay Wade Bailey Bridge (FS 233/KEC-1075) in the early 1970s.

⁵² Charles E. Parrish et al., 345.

⁵³ Charles Bogart, "Chesapeake and Ohio Railroad," in the *Encyclopedia of Northern Kentucky* 175.



Figure 13. Approach to the C&O RR Bridge at OB Interlocking, June 1930.⁵⁴

Constructed in 1929, the Chesapeake and Ohio Railway bridge contains a continuous truss (the second largest of its kind in the world).⁵⁵ The bridge was constructed by the American Bridge Company, a New York firm.⁵⁶ J.E. Greiner and Company was tasked with designing the bridge which was a part of a larger plan for the Cincinnati Union Terminal.⁵⁷ The C&O Bridge is now a part of CSX Railroad system.

Beginning in the 1850s Covington, which had been “steadily growing” in the decade, took and “assumptive role” as a suburban city due to its relationship with Cincinnati.⁵⁸ Covington’s new role was enhanced with the completion of the Roebling Suspension Bridge in 1866 and the city’s population began to “rapidly increase.”⁵⁹ Covington’s first omnibus line was established in 1852 and included service to Cincinnati by way of the two ferries which operated at the time, and due to this line’s success, a line connecting Crittenden and Covington was established in 1854.⁶⁰ That same year a second omnibus line was established which “shuttled passengers between any part of Covington, Newport, and Cincinnati.”⁶¹

⁵⁴ Northern Kentucky View, “Chesapeake and Ohio,” accessed online in August 2022 at: https://www.nkyviews.com/kenton/kenton_cov_railroads_co.htm

⁵⁵ No author, Chesapeake and Ohio Railroad Bridge, accessed August 2022 online at <https://historicbridges.org/bridges/browser/?bridgebrowser=ohio/corail/>.

⁵⁶ Ibid.

⁵⁷ Kevin Murphy, C & O Railroad Bridge, *Historic American Engineering Record* (Washington, D.C.), 1984, 2.

⁵⁸ Paul Tenkotte, James Claypool, and David Schroeder, *Gateway City: Covington Kentucky, 1815-2015*, (Covington: Clerisy Press, 2015), 57.

⁵⁹ Ibid.

⁶⁰ Ibid.

⁶¹ Ibid.

In 1864, the Kentucky General Assembly chartered the Covington Street Railway Company. This charter granted the company the rights to “construct a street railway system in Covington and in the suburbs of said city.”⁶² This charter also gave the company the rights to “lay its tracks across the Covington and Cincinnati Bridge and the Newport and Covington bridge, provided their owners approved.”⁶³ Of the five planned routes, only a single one was constructed, and this led Covington’s City Council to pass an ordinance in 1869, which permitted a second street car company, the Covington and Cincinnati Street Railway Company, to build additional lines.⁶⁴ In 1876, the South Covington and Street Railway Company acquired the Covington and Cincinnati Street Railway Company, which incorporated in 1877.⁶⁵ This acquisition gave the South Covington and Street Railway Company control of the Main Street and Scott Street lines, incorporated into the Green Line System. In 1882 all of Covington’s streetcar lines were consolidated, when the South Covington and Street Railway Company purchased controlling interest in the Covington Street Railway Company, which was referred to as the White Line, but due to “monopoly creating” accusations, Kenton County was ordered the rail company sell the “White Line” at “public auction to the highest bidder,” which was the president of the Consolidated Street Railroad Company of Cincinnati, Colonel A. D. Bullock.⁶⁶

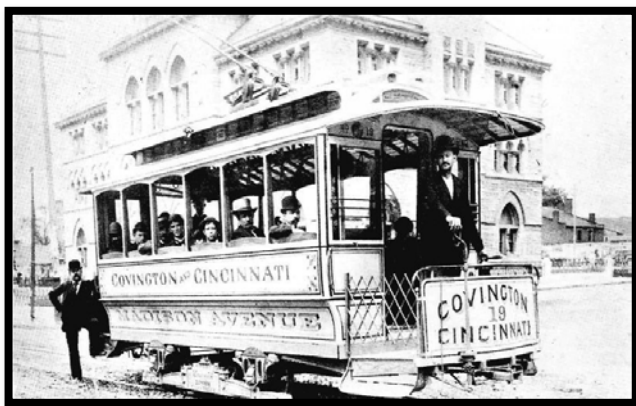


Figure 14. Circa 1900 images of street cars in Covington, Kentucky.⁶⁷ Left: Covington and Cincinnati Street Railway Company streetcar, aka The White Line. Right: Cincinnati, Newport, and Covington Railway Company streetcar, aka The Green Line

In 1902, the Cincinnati, Newport, and Covington Railway Company, the Green Line, was purchased by the North American Company, who also owned the Covington Gas and Light Company (CG&E), giving CG&E a monopoly on the power and mass transit, which was broken up by the federal government in

⁶² Ibid.

⁶³ Ibid, 58-59.

⁶⁴ Ibid, 60-61.

⁶⁵ Ibid, 61.

⁶⁶ Ibid, 62.

⁶⁷ Image accessed online August 2022 at https://www.nkyviews.com/kenton/kenton_street_cars.htm.

1944.⁶⁸ In the following year, its lines were expanded south along the Dixie Highway to Highlands Cemetery in Fort Mitchell, and in 1910 the line was expanded to its terminus at Orphanage Road in South Fort Mitchell, where it connected with busses operated by the Dixie Traction Company.⁶⁹ This expansion led to the development of the communities along Kenton County's "suburban corridor" of the Dixie Highway, including Park Hills, Fort Wright, Fort Mitchell, Lakeside Park, Erlanger, and Florence.⁷⁰

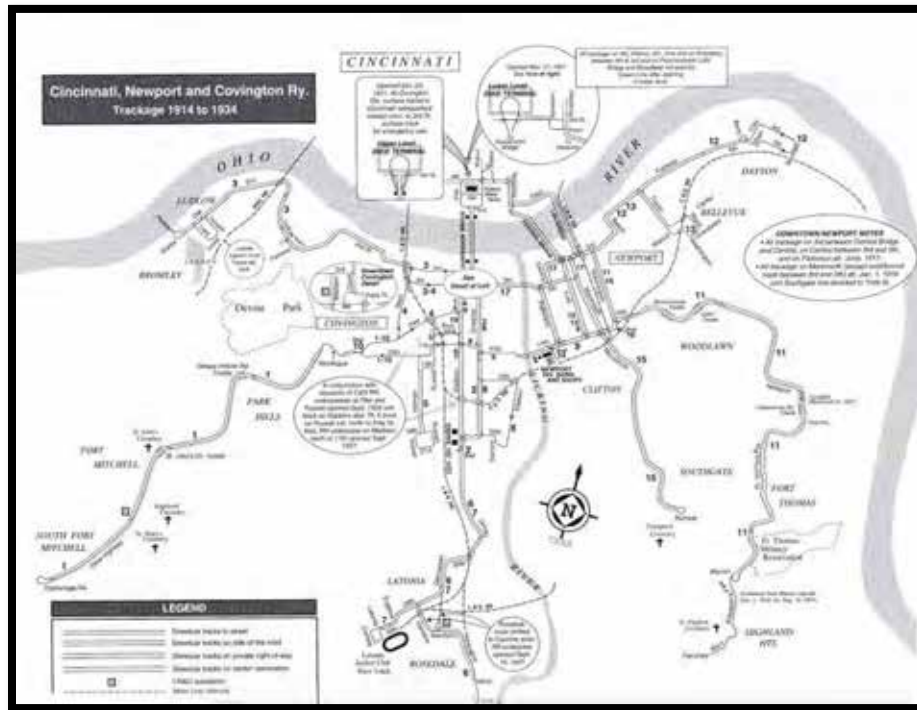


Figure 15. Image showing the Cincinnati, Newport, and Covington Streetcar routes in operation between 1914 to 1934.⁷¹

The Green Line suffered a setback due to the 1937 flood, which caused damage to its power plant, track, and cars. To overcome this obstacle, the streetcar company purchased a number in independent bus lines in northern Kentucky.⁷² These purchases would prove to be very beneficial to the company in 1950, when the Fort Mitchell streetcar route of the Green Line was discontinued and replaced by bus operations, indicating the beginning of an era where the automobile began replacing public "mass transportation".⁷³

⁶⁸ Paul Tenkotte, James Claypool, and David Schroeder, 99.

⁶⁹ Ibid, 112.

⁷⁰ Ibid.

⁷¹ Image accessed online August 2022 at https://www.nkyviews.com/kenton/kenton_street_cars.htm.

⁷² Paul Tenkotte, James Claypool, and David Schroeder, 108.

⁷³ Ibid.



Figure 16. Circa 1940 image of Green Line bus.⁷⁴

The Dixie Highway and the Old Covington and Lexington Turnpike

Dixie Highway was one of the first major multi-state highways in the United States. In the early twentieth century, roads were in poor condition and even dangerous to use after heavy rainfall. Around this time, middle-class families were purchasing cars and they needed reliable safe roads. This need led to the creation of the Good Roads Movement.⁷⁵

The movement was led by citizens to address roadways in poor condition. Perhaps the most successful project of the movement was the Lincoln Highway, the first highway running east to west in the country. The project was so successful that when millionaire Carl Graham Fisher gained support for Dixie Highway immediately. Fisher first proposed the idea of connecting the north to the south in 1914. Specifically, Fisher wanted this highway system to terminate in Miami Beach, a city he had recently established. The highway was planned to begin in Chicago and span down to Miami, running through every major city in between. The Dixie Highway Association was created to oversee the construction. Initially, the highway was funded by private donors with the intention that the states would maintain the roadways.⁷⁶

⁷⁴ Image accessed online August 2022 at <https://facesandplaces.kentonlibrary.org/index.php?q=Green+Line>.

⁷⁵ Audrey W., *Driving the Old Dixie Highway*, Arcadia Publishing, accessed June 2022 online at <https://www.arcadiapublishing.com/Navigation/Community/Arcadia-and-THP-Blog/January-2019/Driving-the-Old-Dixie-Highway>

⁷⁶ Ibid.

In 1915, it was decided that the highway should split in order to serve more communities. One route began in Sault Sainte Marie, Michigan, and ended in Miami while the other route began in Chicago and ended in Miami. Once construction began in 1915, it did not take long for small towns along the route to reap the benefits. Many gas stations, hotels, and restaurants popped up along the route. Cities in Georgia also promoted its rich Civil War history to attract tourists.⁷⁷

The Dixie Highway Association mainly used existing roads to create Dixie Highway. Northern Kentucky was no exception, and the Covington and Lexington Turnpike was chosen to be a part of the new interstate in October of 1915. The turnpike was paved with concrete and, in some section, reconstructed to meet the Dixie Highway Association's standards.

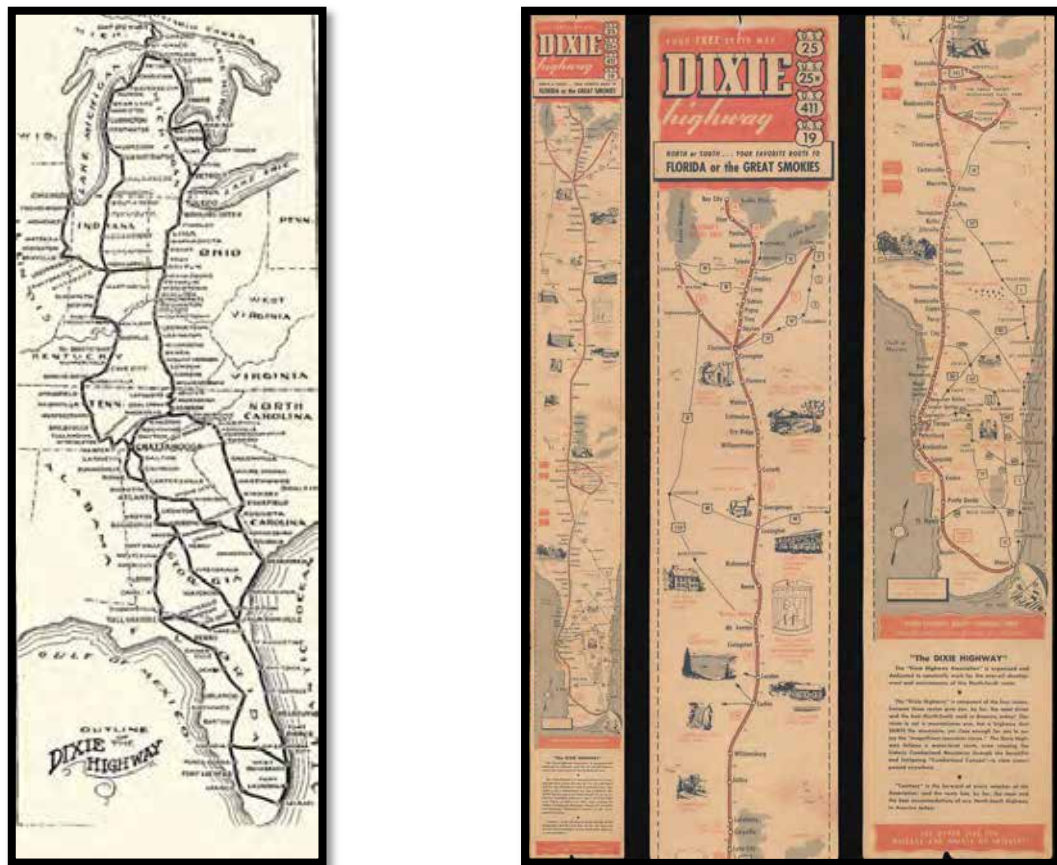


Figure 17. Early Dixie Highway maps. Left: Outline of the Dixie Highway System, 1919.⁷⁸ Right: 1955 U.S. Dixie Highway Association Strip Map of the Dixie Highway.⁷⁹

⁷⁷ Ibid.

⁷⁸ Image accessed online August 2022 at https://www.researchgate.net/figure/Outline-of-the-Dixie-Highway-System-Shuttering-1919_fig1_343384628.

⁷⁹ Image accessed online August 2020 at <https://www.geographicus.com/P/AntiqueMap/dixiehighway-dixiehwassoc-1955>.

The federal government took over the maintenance of Dixie Highway in 1927 with the creation of the United States highway system. Today, almost all of the Dixie Highway has been rerouted or renamed.⁸⁰ In Covington, Dixie Highway is now known as U.S. 25. According to the Kentucky Transportation Cabinet, U.S. 25 is an important route connecting London and Corbin and runs parallel to I-75.

Prior to 1915, the stretch of the Dixie Highway within Covington and its southern communities was known as the Covington and Lexington Turnpike. The first sections of this turnpike opened in 1839. These sections included a 10-mile stretch of road starting in Covington and headed south, and a 12-mile section between Lexington and Georgetown.⁸¹ By 1849, a large portion of the turnpike was finished, but would not be fully completed until the early 1850s, taking just under 20 years to complete since the road was approved for construction by the Kentucky legislature in 1834.⁸² In 1930 Covington's population reached 65,252 but the following post-war years, due to suburban growth, which was aided by the newly paved Dixie Highway, there was a reduction in the city's population.⁸³ During the late 1930s and early 1940s, the growth of the suburbs and rural areas south of Covington were further aided when Kentucky's Highway Commission widened the Dixie Highway from Covington to Fort Mitchell.⁸⁴

Prior to the completion of Interstate 75, the Dixie Highway, which connected Michigan to Florida, was the main thoroughfare through Northern Kentucky. Businesses which cater to the automobile traveler were located along the route in the form of motels, restaurants, and roadside attractions. Within Northern Kentucky multiple restaurants, inns, motels were established as early as the 1920s, including the Hoffman's Tourist Court at 1552 Dixie Highway in Park Hills, Five Mile House/ Dixie Inn at 2642 Dixie Highway in Lakeside Park, Kentucky, Fort Mitchell Motel, formerly located at the intersection of the Fort Mitchell I-75/71 interchange and the Dixie Highway.



⁸⁰ Audrey W., *Driving the Old Dixie Highway*, Arcadia Publishing, accessed June 2022 online at <https://www.arcadiapublishing.com/Navigation/Community/Arcadia-and-THP-Blog/January-2019/Driving-the-Old-Dixie-Highway>.

⁸¹ Paul Tenkotte and James Claypool, "Covington and Lexington Turnpike," *The Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 238.

⁸² *Ibid.*, 235-236.

⁸³ Paul Tenkotte and James Claypool, "Covington," *The Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 234.

⁸⁴ Paul Tenkotte and James Claypool, "Donaldson, J. Lyter," *The Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 277.

Figure 18. Images of Dixie Highway restaurants/motels in Northern Kentucky.⁸⁵ Left: Advertisement for the Dixie Inn, circa 1940. Right: Image of the Fort Mitchell Motel, circa 1950.

Due to the ascendancy of the interstate highways, many of these businesses have declined, but the Dixie Highway through Covington and northern Kentucky remains a vital local/regional route that connects the communities and commerce of the region and promotes accessibility and economic viability throughout the region.

Interstate Development

The interstate highway system was conceived in the 1950s as a means to bolster national defense by President Dwight D. Eisenhower. After several failed attempts, the Federal-Aid Highway Act passed Congress in 1956 and the first appropriations were made from a pool of \$25 billion to be spent between 1957 and 1969.⁸⁶

Interstate 75 spans 1,786 miles across Florida, Georgia, Tennessee, Kentucky, Ohio, and Michigan.⁸⁷ Completed in its entirety in 1977, I-75 was the first federal limited-access highway to span the country. The federal government paid for 90 percent of this \$65 billion project making it among the largest public works project in America's history at the time.⁸⁸ Secretary of Transportation, Brock Adams, called it "the crowning achievement" of the Federal-State partnership.⁸⁹ Since the 1977 opening, I-75 has extended south to Hialeah, Florida.⁹⁰

As early as the late 1940s, local officials conceived of a limited-access highway, intended to link Covington and Florence.⁹¹ The project was never fully realized, but instead became the first portion of Interstate 75 constructed in Northern Kentucky in 1962. By 1963, the double-decker Brent Spence Bridge (FS 77/KEC-820) was opened, carrying through-traffic from Covington to Cincinnati. Tolls were retired on the Roebling Bridge, upon the opening of this new state-of-the-art Ohio River crossing.

⁸⁵ Images accessed online August 2022 at https://www.nkyviews.com/kenton/kenton_FM_rests_and_motels.html.

⁸⁶ National Archives, "National Interstate and Defense Highway Act," Accessed online in August 2022 at: <https://www.archives.gov/milestone-documents/national-interstate-and-defense-highways-act>

⁸⁷ No author, Interstate 75, accessed August 2022 online at <https://www.interstate-guide.com/i-075/#history>.

⁸⁸ B. Drummond Ayres Jr., "I-75 Link Opens First Full Interstate Route," 1977 *The New York Times*, 14.

⁸⁹ Federal Highway Administration, Eisenhower Interstate System, previous Facts of the Day accessed August 2022 online at <https://www.fhwa.dot.gov/interstate/previousfacts.cfm>.

⁹⁰ No author, Interstate 75.

⁹¹ Tenkotte and Clayppol, ed. "Expressways," in the *Encyclopedia of Northern Kentucky*, 314.



Figure 19. Circa 1964 aerial image of the Brent Spence Bridge and I-75, just after construction concluded.⁹²

Interstate 71 spans 344 miles starting in Louisville, Kentucky and ending in Cleveland, Ohio.⁹³ The Kentucky portion of the interstate was completed by 1969, while the Ohio portion was completed in 1975.⁹⁴ The Mid-America Freight Coalition considers I-71 an essential freight corridor as existing railroads are not as direct and there are no waterways that run concurrently with the interstate.⁹⁵

⁹² "Aerial Views of Covington," *Northern Kentucky Views*. Accessed online July 2022 at https://www.nkyviews.com/kenton/kenton_cov_aerials.htm.

⁹³ Mid-America Freight Coalition, I-71, accessed June 2022 online at <https://midamericafreight.org/index.php/rfs/network-inventory/corridors/profiles/i-71/>

⁹⁴ No author, Interstate 71, accessed August 2022 online at <https://www.interstate-guide.com/i-071/>.

⁹⁵ Mid-America Freight Coalition, I-71, accessed June 2022 online at <https://midamericafreight.org/index.php/rfs/network-inventory/corridors/profiles/i-71/>

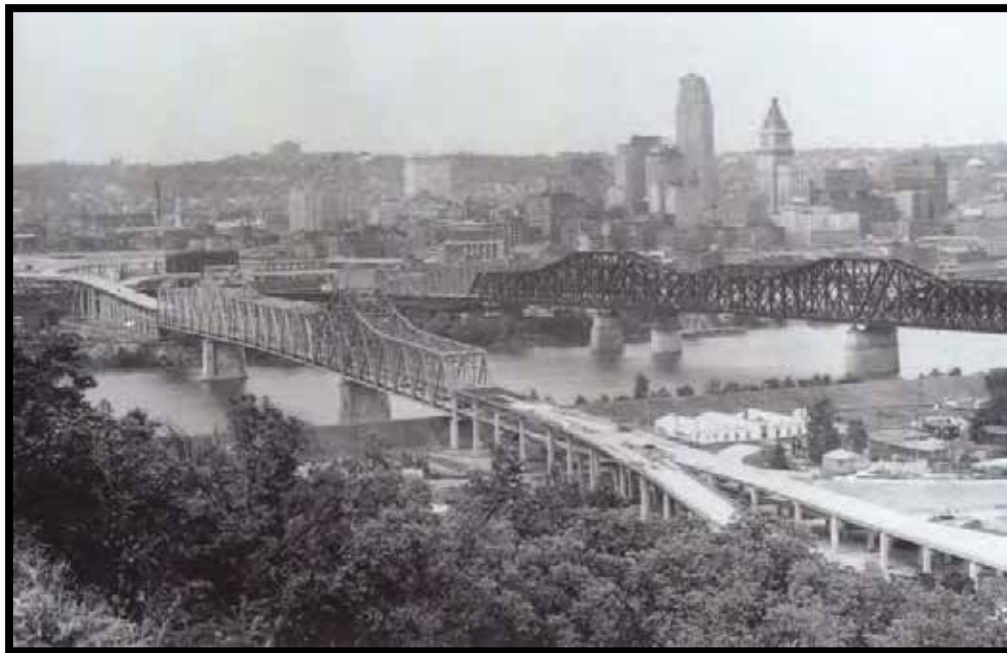


Figure 20. Construction of Brent Spence Bridge.⁹⁶

SUBURBAN DEVELOPMENT

Like most American cities, suburban development in Covington was fueled by state and local policies on transportation and home financing.⁹⁷ Due to the impact of the Great Depression, federal interventions into the home mortgage industry were undertaken in the early 1930s to stabilize the industry and provide Americans with safe, affordable home ownership options. In sum, these options gave American families federally-insured home mortgages with long-term repayment options under Title II of the National Housing Act of 1934.⁹⁸ New housing could be purchased and federally-insured up to 80 or 90 percent of its cost with 20-25 year repayment terms and a 20 percent down payment. In 1944, under the Serviceman's Readjustment Act, known as the GI Bill, the Veteran's Administration eliminated the down payment all together on new, FHA-approved new housing. In additions to improvements in transportation, discussed above, these measures led to both an expansion of home ownership and an increase in large-scale federally-insured suburban developments, starting in the late 1940s and extending to modern day. All of these things combined and permitted largely white middle-class American families to purchase new housing in a new federally-approved suburb.⁹⁹

⁹⁶ No author, Aerial Views of Covington, accessed August 2022 online at https://www.nkyviews.com/kenton/kenton_cov_aerials.htm.

⁹⁷ David Ames and Linda Flint McClelland, "Historic Residential Suburbs: Guidelines for the Evaluation and Documentation for the National Register of Historic Places," National Register Bulletin, 2002, 29-31.

⁹⁸ Ibid.

⁹⁹ It is out of the scope of this study to examine red-lining in Covington and Kenton County, but it would certainly exist as it did in most American cities in the mid-to-late twentieth century

The early twentieth century suburbs were smaller developments typically with a patchwork of financing opportunities for both developers and homeowners. Most of these developments were smaller-scale in nature and relied on first streetcar transportation and then on the automobile. More families were purchasing cars in the early twentieth century. In 1910 there were roughly a half million of cars on the roads in America and within the span of ten years there were over eight million cars on the road. The increase of automobiles on the road in conjunction with overcrowding and building deterioration in Covington led to suburbanization. Between 1921 and 1929, the number of registered cars in Kenton County jumped from 5,106 to 16,677.¹⁰⁰

Fort Mitchell (FS 182/KE-011) and Fort Wright were developed in the early-to-mid twentieth century as part of a first phase of suburban development in Kenton County. Both were created near Civil War fortifications, intended to protect Covington and Cincinnati from Confederate attacks. Fort Mitchell was originally developed circa 1900 as a streetcar suburb, situated approximately three miles south of Covington along the Dixie Highway. The area obtained quick and efficient transit when the Lewisburg Streetcar line extended in 1903 to Highland Cemetery (FS 230/KEFM-150) and in 1910 the line reached its terminus near Orphanage Road and the Dixie Highway. Later upon development of the Dixie Highway and its designation as a US 25, an official federal road, the area continued to grow, but in a less dense fashion. Fort Mitchell annexed several neighborhoods surrounding it, including Fort Mitchell Heights (late 1920s) and South Fort Mitchell (1967).¹⁰¹

¹⁰⁰ Christopher Harris and Kevin Karp, "Westside: Covington's Unofficial Forgotten Community," *Northern Kentucky Heritage* (Spring 2016), 40.

¹⁰¹ Tenkotte and Claypool, ed., "Fort Mitchell," in the *Encyclopedia of Northern Kentucky*, 359.



Figure 21. Fort Mitchell, Aerial View, circa 1956.¹⁰²

Fort Wright, a portion of which was surveyed for this project (FS 231/KE-013), was developed as part of the early automobile-era suburbs.¹⁰³ The town is located approximately three miles south of Covington. In the early 1930s, the area was characterized by farmland and orchards, owned primarily by the Kyle family. In 1937, George Kreutzjans, newly arrived from Lorup, Germany, partnered with Theodore Drees to construct new housing and subdivisions in this area. The neighborhood was incorporated in 1941 as a sixth-class city. The Fort Wright Civic Club, located on Kennedy Road, is an important community landmark for this town, and served as the original city hall and fire department building.

Both Fort Wright and Fort Mitchell were impacted by the development of Interstate 75 in the early 1960s. In addition to the construction of a multi-lane highway through these communities, housing and commercial developments increased pace, due to improved access.

COVINGTON AND KENTON COUNTY'S ARCHITECTURAL LEGACY

Covington's architectural history largely follows nineteenth and twentieth century trends in both style and type. Popular nineteenth century architectural styles include the Italianate, Second Empire, and Queen Anne. By the early twentieth century, Tudor Revival style dominated the architectural vocabulary

¹⁰² Northern Kentucky Views, "Fort Mitchell," accessed online in August 2022 at: nkyviews.com/kenton/kenton_FM_scenes.htm

¹⁰³ Dave Hatter, "Fort Wright," in the *Encyclopedia of Northern Kentucky*, 364.

of Kenton County's suburban developments. In addition to these rather common styles, the built landscape of Covington includes some place-specific types of architecture and landscape architecture, as discussed below.

Northern Kentucky Townhouse

The Northern Kentucky (NKY) Townhouse, often referred to the "Covington/Newport House" is a house type specific to the region.¹⁰⁴ The origin of this type is unclear; i.e. whether it originated as a specific German plan or from another Euro-American folk building tradition. When plots of land were originally subdivided and parceled, specifically in urban areas with grid street plans, the parcels were typically narrow, yet deep, street fronting plats. In an effort to maximize the available parcel area, this house type was designed to "face the street in the same manner as the shotgun house... but with multiple stories in height" and "a single room wide and multiple rooms deep."¹⁰⁵ The main difference between the Northern Kentucky Townhouse and a Shotgun or Townhouse, is that the NKY Townhouse has no "street façade entry."¹⁰⁶ Instead, this house plan has a side entry located "midway along the side of the building.", leading to a stair hall providing access to the upper stories of the residence.¹⁰⁷ The interior floorplan of the NKY Townhouse "consists of a one room in front, with the stair hall leading from the side entrance behind it, and one to three rooms" stacked "behind the stair hall in in the rear."¹⁰⁸ This house type can have varying roof types, window fenestration patterns, and architectural styles, and sometimes a porch covering the side entry.

¹⁰⁴ Rita Walsh, *Kentucky Historic Resource Survey: Northern Kentucky Townhouse Study*, (Frankfort: Kentucky Heritage Council, State Historic Preservation Office, 1993).

¹⁰⁵ Bill Macintire, *Documentation of Historic Structures on Twelfth Street, Covington*, (Kentucky Heritage Council, State Historic Preservation Office, October 2013), 4.

¹⁰⁶ Ibid.

¹⁰⁷ Ibid.

¹⁰⁸ Walsh.



Figure 22. Typical floorplan of a NKY Townhome.¹⁰⁹



Plate 5. Examples of NKY Townhomes in Covington. Left: 617 Crescent Avenue (KECL-1054). Right: 611 Crescent Avenue (KECL-1055). Note the side entrance, which is the major defining feature of the NKY Townhome.

Due to increasing housing demands and rent pressures, property owners commonly modify this type by converting a façade window into an entry as well as converting to multi-unit buildings, typically

¹⁰⁹ Bill Macintire, 8.

consisting of two to three residential apartments. This modification makes it difficult to distinguish the once NKY Townhome from other residences in Northern Kentucky without investigating the interior floorplan and original framing. Yet even with these modifications occurring to the NKY Townhome, it remains a predominate and unique house plan which can be found throughout the urban areas of northern Kentucky.

Stewart Iron Works

Stewart Iron Works was opened in Covington, Kentucky in 1862 by Richard Clayborne, and has been in operation since that time. The company expanded and became the largest ornamental fence company in the world by the beginning of the twentieth century. Contracts and projects for the Stewart Iron Works Company included the benches for Central Park in New York City, the light fixtures in the U.S. Capitol Building, and jail cells for Alcatraz, just to name a few. Covington's nineteenth and early twentieth century landscape is defined by the cast iron fencing created by this company, whether forming a boundary between a house and the sidewalk or surrounding an older cemetery. Expressions of their work can be found on nearly every corner in historic Covington.

The company was able to "corner the market" on cemetery fencing in the early part of the twentieth century, they contributed to the war effort during WWI by manufacturing trucks used by the U.S. Army, and WWII with tank armor and bailey bridges. During the Great Depression, the company manufactured housings for Tommy Guns. The call for cast iron eventually declined and the company began manufacturing chain link fencing while still focusing on jail cell manufacturing. Eventually, toward the end of the twentieth century cast iron had become popular again, and craftsmanship was a major emphasis. The Stewart Iron Works Company was once again able to focus on metal fencing, including cast iron.¹¹⁰

¹¹⁰ "About Stewart Ironworks," Stewart Iron Works, accessed July 20, 2022, <https://stewartironworks.com/about-stewart-iron-works/>.

4

FIELD SITE DESCRIPTIONS AND RESULTS INTRODUCTION RECOMMENDED ELIGIBLE AND NRHP-LISTED INDIVIDUAL PROPERTIES

Field survey sites range in date from the mid-nineteenth century to the mid-twentieth century, as far as can be determined from exterior survey. The predominant date of construction is from the mid-nineteenth through the early twentieth centuries. All properties that appear to have been built prior to 1976 were examined for this survey.

A total of two-hundred and fourteen (214) field survey sites were documented for this project. Due to the size of the survey results, the NRHP eligible and listed field sites are divided into three sections. Section 4 documents the properties recommended individually eligible and/or listed as individual properties in the NRHP. Section 5 documents the properties recommended eligible or NRHP-listed as historic districts. And finally, Section 6 records the properties recommended not eligible for the NRHP. It is hoped that this measure makes review an easier process. Section Four and Five of the field survey results focuses on the twenty-four (24) NRHP eligible and listed properties (in numerical order by field site) with their associated contributing and noncontributing resources. The historic districts include the related contributing and noncontributing properties nested numerically within their description by field site number. A description, NRHP evaluation, and effects determination is included for each historic property/district. Section Six is concerned with the remaining properties determined not eligible as a result of this study. Each of these property narratives include a description and NRHP evaluation.

FIELD RESULTS: ELIGIBLE AND LISTED NRHP PROPERTIES

Twenty-four (24) field sites are recommended eligible or were listed in the NRHP as part of previous cultural-historic work. One of these, the Bavarian Brewing Co. (FS 85/KECL-815), is individually listed in the NRHP. In addition, there are five (5) NRHP-listed historic districts within the APE: Highland Cemetery Historic District (FS 230/KEFM-150), West Side/Main Strasse (FS 180/KE-09), Lewisburg (FS 181/KE-010), Old Fort Mitchell (FS 182/KE-011), and Beechwood (FS 183/KE-012). The remaining nineteen (19) properties are recommended as eligible as a result of this study and include two (2) proposed historic districts, a levee system, a Futuro house, a twentieth century hotel, a convent and cemetery, several bridges, houses, and commercial buildings. The following text describes the seventeen (17) *individually* eligible and NRHP- listed properties and the historic districts will be described in the following section. These properties can be quickly seen in **Table 6** and **Figure 23** below.

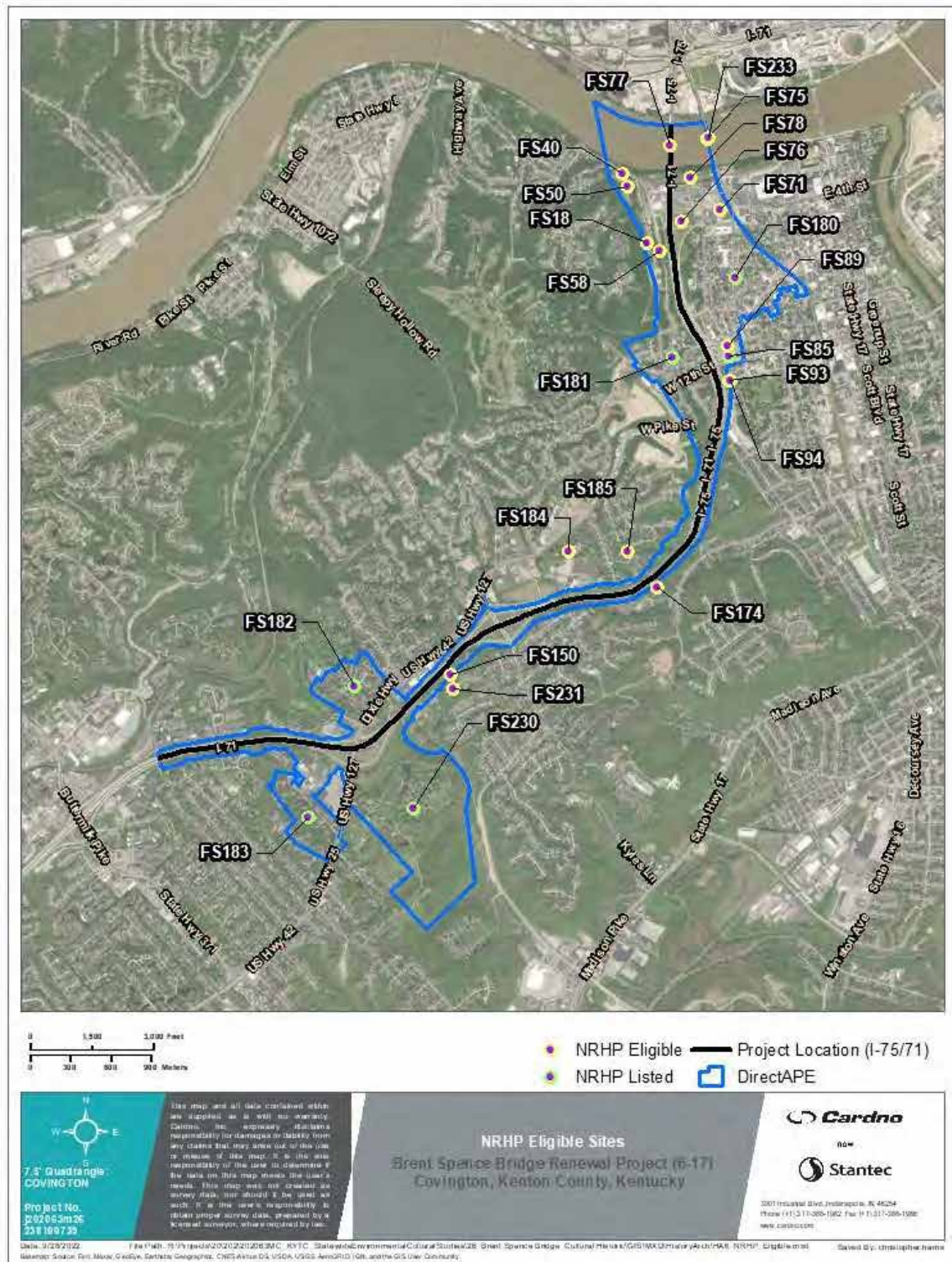


Figure 23. Eligible and Listed NRHP Properties

Table 6. NRHP Eligible or Listed - Individual Properties

Field Site No./KHC No.	Site Name	NRHP Status
FS 18/KECL-1018	House/521 Western Ave	Eligible
FS 40/KEC-460	House/829-831 Highway Avenue	Eligible
FS 50/KEC-1048	Futuro House/224 Wright Street	Eligible
FS 58/KECL-1055	NKY Townhouse/611 Crescent Ave	Eligible
FS 71/ KEC-1064	Commercial Building/402 Bakewell Street	Eligible
FS 75/KECL-107	C&O Railroad Bridge	Eligible
FS 76/ KEC-1038	Quality Inn/626 W. 5 th Street	Eligible
FS 77/KEC-820	Brent Spence Bridge	Eligible
FS 78/ KEC-1068	Covington Levee	Eligible
FS 85/KECL-815	Bavarian Brewing Co./Kenton Co Govt Center	Listed
FS 89/KEC-462	Bavarian Brewery Bottling Works/Glier's Goetta/533 Goetta Place	Eligible
FS 93/KECL-692	House/536 West 13 th Street	Eligible
FS 94/KEC-1011	House/534 West 13 th Street	Eligible
FS 150/KEC-458	House/45 Rivard Drive	Eligible
FS 174/KEC-456	House/1000 Emery Drive	Eligible
FS 184/KE-952	Sisters of Notre Dame Convent and Cemetery	Eligible
FS 233/KEC-1075 (formerly KEC-107)	Clay Wade Bailey Bridge	Eligible

Field Site 18

House

KECL-1018

Circa 1870

521 Western Avenue

Covington, KY 41011

39.084358, -84.524924



Plate 6. House, looking west.

Description:

This resource is a two story house constructed circa 1870. The resource is clad in wood siding. The house is topped with a cross gable roof which is covered with asphalt shingles. There is a W-D-W fenestration pattern which contains 2/2 wood windows flanked by nonoperational shutters. The recessed entry contains its original doors with a Greek Revival door surround. The resource sits on a stone foundation. A dry-stone retaining wall (B) is located to the east of the primary resource. The retaining wall runs parallel to Western Avenue.

The house is depicted in the 1886 Sanborn Map, the earliest Sanborn Map of Covington.¹¹¹ A 2010 report for the Brent Spence Bridge project also noted that the 1877 Atlas map of Covington shows this

¹¹¹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1886), Sheet 7.

building as being one of the first houses constructed on the west side of Western Avenue.¹¹² Based on deed research, William Robbers owned the house from 1886-1909. Robbers served as a Catholic priest for St. John the Evangelist Church in Lewisburg – a contributing resource in the Lewisburg Historic District.¹¹³ This property was last surveyed as KECL-1018 in December 2006 and determined individually eligible.



Plate 7. Dry-stone retaining wall, looking southwest.

NRHP Eligibility: Eligible

This property continues to be recommended *individually Eligible* for listing in the NRHP under Criterion C as a unique example of a circa 1870 cross-gable house. The recommended National Register boundary is the full parcel. This house is not currently within the boundaries of a National Register-listed historic district and does not appear to be within the boundaries of a proposed historic district. In 2010, it was noted that this cross-gable house was unique for the fact that it was two stories and included a recessed porch.¹¹⁴ That argument remains valid as the house has preserved its form and materials since 2010. The house preserves a high level of all aspects of its historic integrity and retains its wooden siding, 2/2 wooden windows, and recessed central front entrance with Greek Revival trim. Although William Robbers, a late nineteenth and early twentieth century Catholic priest who oversaw significant repair

¹¹² Brandon L. McCuin, Gray & Pape, Inc. with Parsons Brinckerhoff America, *Brent Spence Bridge Replacement/Rehabilitation Project History/Architecture Report, Kenton County, Kentucky, KYTC Project Item No. 6-17*, for Kentucky Transportation Cabinet, April 2010, 115.

¹¹³ Doug Owen, 521 Western Avenue, Kentucky State Historic Preservation Office, 3.

¹¹⁴ Brandon L. McCuin, Gray & Pape, Inc. with Parsons Brinckerhoff America, *Brent Spence Bridge Replacement/Rehabilitation Project History/Architecture Report, Kenton County, Kentucky, KYTC Project Item No. 6-17*, for Kentucky Transportation Cabinet, April 2010, 115.

and remodeling projects at St. John the Evangelist Roman Catholic parish, is associated with this house his primary association is with St. John the Evangelist church itself due to his significance as a priest and to his work there.

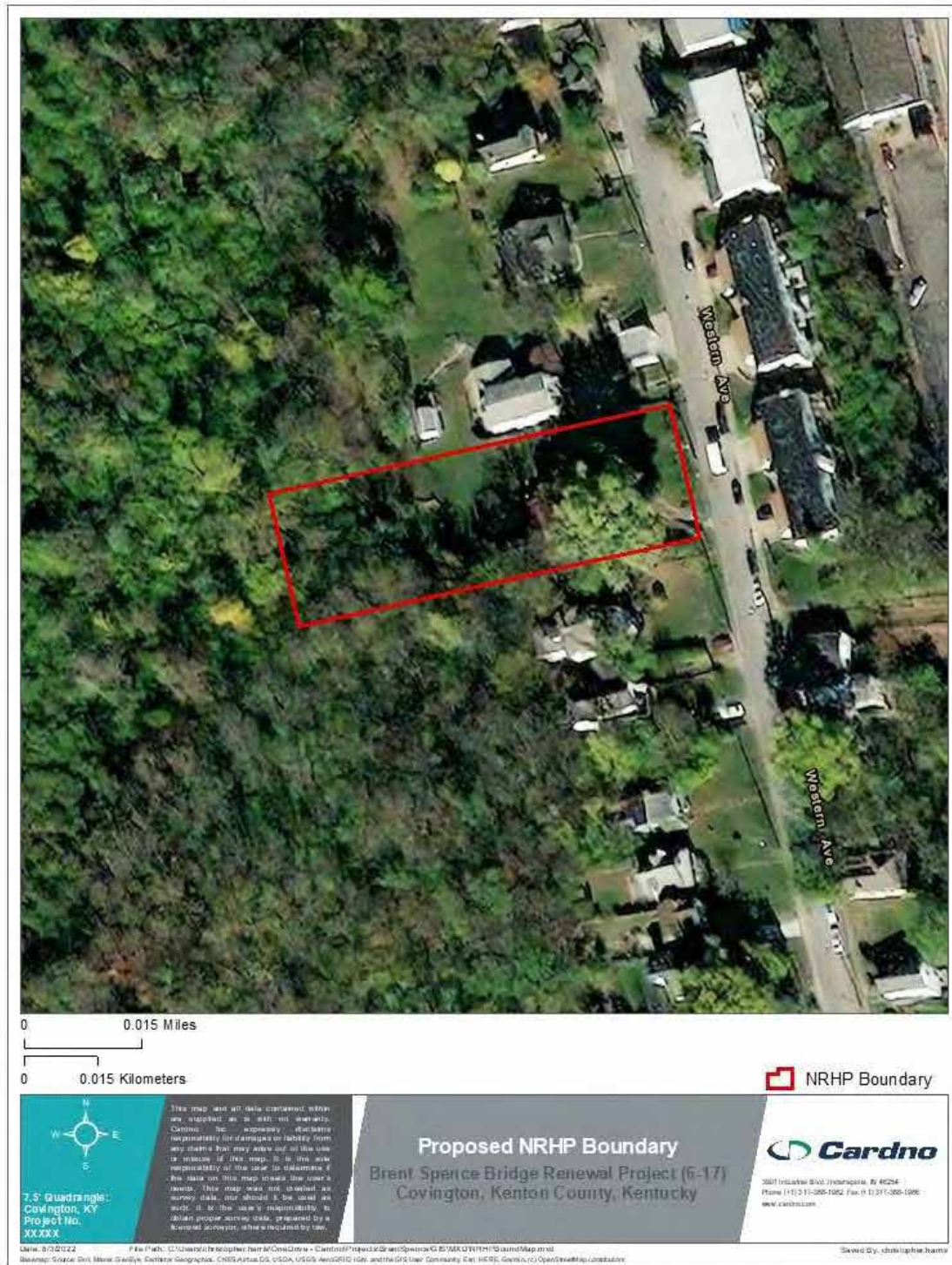


Figure 24. KECL-1018, House, Recommended NRHP Boundary Map

Effects Assessment: No Effects

This property will experience No Effects from the proposed undertaking. This house is situated on a slight rise and, as such, the interstate is an existing visual intrusion into its viewshed. Although this undertaking will place the paved portion of the interstate closer to this property, intervening buildings and tree lines should provide sufficient screening to avoid any cumulative negative visual impacts.

Field Site 40

House

KEC-460

Circa 1870

829-831 Highway Avenue

Covington, KY 41011

39.089024, -84.526867



Plate 8. House, looking south.

Description:

This property consists of a brick T-plan house and a stone wall with a wrought iron fence. The primary resource is a circa 1870, two story, Italianate brick residence. Its façade features a W-W-W-D-W-W fenestration pattern. Its shallow-pitched cross-gable roof has an asphalt shingle covering and two interior chimneys. The exterior of these chimneys has been parged, and they are topped by clay chimney pots. Italianate brackets are located within the façade's overhanging roof eave. The building rests on a stone foundation. All window openings are enclosed with wood panels except for one, which has a wood sash window, with a 6/1 glazing pattern. The façade features a two story bay windows on the eastern bay and a two story porch frames the central bay. The porch is supported by wood octagonal columns, which rest upon brick piers, and features a wrought iron guardrail. This rail matches the fence surrounding the property and would typically not be used at this location, suggesting it was located on the property but added to the porches at a later date. A circa 1969 frame addition is present on the residence's south elevation. This addition has a hipped asphalt shingled roof and its exterior is clad in vinyl siding.

A stone wall with end piers, which is topped with a double-hooped wrought iron fence (B), is located on the northern property line, south of Highway Avenue and the right-of-way. The wrought iron fence continues along the other surrounding property lines. This property is depicted with its current form on the 1877 City Atlas of Covington Kentucky.¹¹⁵

This property was last surveyed as KEC-460 in December 2006 and determined eligible.



Plate 9. House, looking north.

¹¹⁵ C.M Hopkins, *City Atlas of Covington, Kentucky*, (Philadelphia, C.M. Hopkins, C.E., 1877), 46.



Plate 10. House and stone wall and fence (B), looking SE.

NRHP Eligibility: Eligible

This property is recommended *individually Eligible* for listing in the NRHP under Criterion C as a good example of a circa 1870 brick T-plan house. The recommended National Register boundary is the full parcel. This house is not currently within the boundaries of a National Register-listed historic district and does not appear to be within the boundaries of a proposed historic district. The house retains its T-plan form and many of its historic materials including its structural brick, its chimneys, its stone lintels and sills, its continuous stone foundation, the Italianate wooden brackets beneath its eaves, and its two story bay window in the front-projecting gable roof section. Although its window openings have been boarded, stone lintels and sills are preserved, and it is suspected that its 6/1 double hung historic windows are preserved behind the boards. The front porch has been modified and the house rear addition which is outside the period of significance; additionally, existing non-historic apartment buildings built directly uphill from the house along Wright Street and Highway Avenue have already impacted its feeling, setting, and association to some degree. Even taking these impacts into consideration; however, as a late nineteenth century brick example of a T-plan in this area, this house is an unusual and important example and preserves sufficient historic integrity to convey its architectural significance.

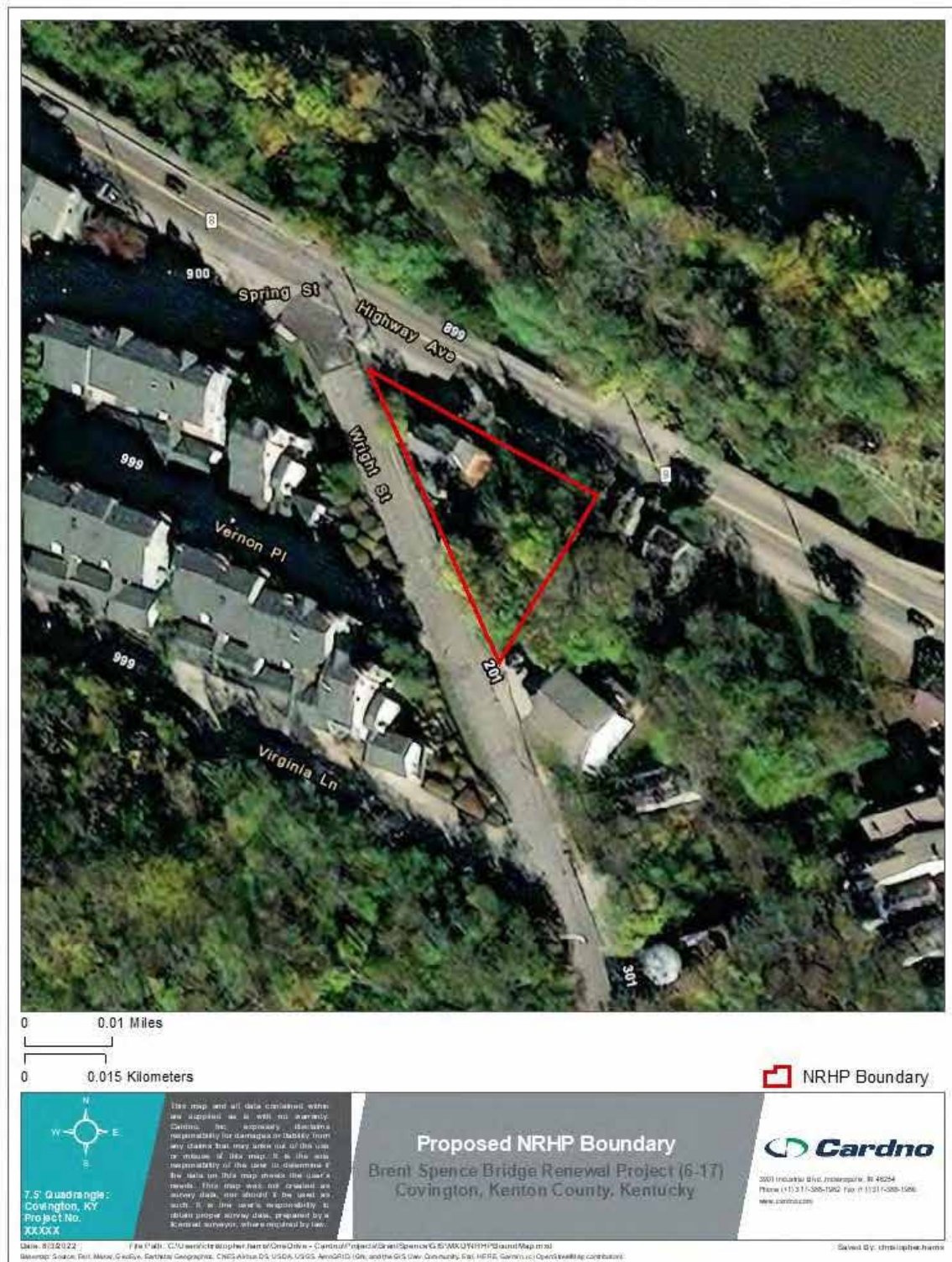


Figure 25. KEC-460, House, Recommended NRHP Boundary Map

Effects Assessment: No Effects

This property will experience No Effects from the proposed project. The property should be sufficiently screened from the location of the proposed new bridge and bridge approach by tree lines to its north and northeast along the Ohio River and by intervening buildings to its east and southeast. Concrete floodwall, contributing to the Covington Levee System (FS 78), and steel transmission line towers are also currently located within its viewshed. As such, this property should not experience either any direct or indirect effects from the proposed undertaking.

Field Site 50

Covington Futuro House

KEC-1048

Circa 1973, moved to current location in 1978

224 Wright Street

Covington, KY 41011

39.088159, -84.526449



Plate 11. Covington Futuro, looking east.

Description:

This circa 1973 Futuro house has a characteristically ellipsoid shaped shell and was moved to its current location in 1978. The house is twenty-eight (28) feet in diameter and is constructed of sixteen (16) individual reinforced plastic fiberglass panels weighing a total of six (6) tons.¹¹⁶ The house originally had eight oval windows and two more were added after it was in its current location.¹¹⁷ The owner also added a second entrance which since has been sealed. Although the Futuro house is located at street level on a parcel at a relatively level grade, the terrain is steeper just east of Wright Street. The house is supported by a square steel frame with four steel posts. Panels of lattice style wooden screening surround the building on all sides.

¹¹⁶ "New-Style House," *News Journal*, March 1, 1976, 12.

¹¹⁷ "The Futuro House." Accessed online July 2022 at <https://thefuturohouse.com/Futuro-Covington-Kentucky-USA.html>.

Finnish architect Matti Suuronen originally designed the Futuro home in 1968 as a portable ski chalet.¹¹⁸¹¹⁹ Born in 1933, Suuronen studied architecture at Tampere University of Technology. He first started to develop the design of the Futuro home in 1965 and developed the final design and a prototype for the “ellipsoid shell structure” in 1967.¹²⁰



Figure 26. Architect Matti Suuronen with model of Futuro house.¹²¹

The original design for the Futuro house was “based purely on mathematics” and included the development of the steel leg foundation which would allow “water and rocks to pass underneath the cabin.”¹²² The first prototype was produced by the Polyken Ltd., a plastic manufacturing located in Hiekkaharju, Finland in 1968 and referred to as the “After-Ski-cabin.”¹²³ The floor plan of the Futuro house centered around a “metal fireplace that sat on a storage console” and was surrounded by radiating partition walls for the living/dining room, kitchen, bedroom, and bathroom.¹²⁴ The term

¹¹⁸ Anna-Maija Kuitunen, “Futuro No. 001-Documentation and Evaluation of Preservation Needs” (bachelor’s theses, Metropolia University of Applied Sciences, 2010), 3.

¹¹⁹ “The Futuro House.” Accessed online July 2022 at https://thefuturohouse.com/futuro_house_latest_updates_and_news.html.

¹²⁰ Kuitunen, 11.

¹²¹ Ibid, 10.

¹²² Ibid.

¹²³ Ibid, 13.

¹²⁴ Milford Wayne Donaldson and Eileen Mango, *Futuro, Donaldson Futuro*, NRHP draft nomination, September, 2020, Section 8, page 21.

“Futuro” was first used after the construction of the third unit.¹²⁵ Polykem Ltd. sold manufacturing licenses to twenty-five (25) countries, and approximately fifty-five (55) Futuro houses were produced with these licenses.

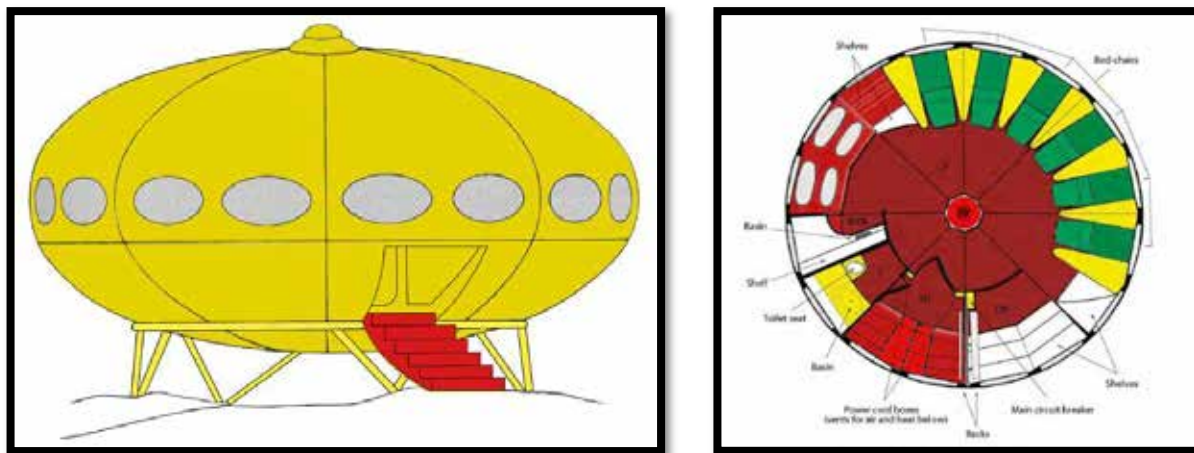


Figure 27. Drawings of Futuro house no. 001.¹²⁶ Left. Exterior elevation plan. Right. Interior plans.

The 1973 oil crisis led to the interruption of the development of the plastic house since petroleum products were also used to produce plastics. Other factors working against the retail success of the Futuro house were “unorganized marketing” and their high production cost.¹²⁷ Additionally, unlike current plastics, the plastics manufactured in the 1960s and early 1970s were inferior since they were lacking UV inhibitors.¹²⁸ This meant that the plastic panels of the Futuro home which served as both interior and exterior walls deteriorated at a rapid pace - especially when placed in their intended environment with its harsh environmental conditions. Thus, the popularity of the Futuro house was short-lived and Polykem Ltd. produced its last unit in 1978.¹²⁹

The owner of Covington’s Futuro house, Robert Detzel, acquired the building from Len Frocker, a former New Jersey banker and the founder of I.F.O. (Identified Flying Object).¹³⁰ Frocker acquired exclusive rights to construct the building within the United States. After visiting Europe, he “agreed to buy the mold and enough of the resin material needed to build eight units.”¹³¹ Frocker’s original intentions were to construct the Futuro houses and place them within malls as banks throughout the east coast.¹³² After

¹²⁵ Ibid.

¹²⁶ Ibid, 6.

¹²⁷ Ibid, 15.

¹²⁸ Milford Wayne Donaldson and Eileen Mango, *Futuro, Donaldson Futuro*, NRHP draft nomination, September, 2020, Section 8, page 18.

¹²⁹ Ibid, 14.

¹³⁰ Jim Shoe, “Beam Me Up Scotty, The Futuro House,” *Live, Music for your Eyes*, Winter 2013, 16. Accessed online July 2022 at https://issuu.com/nkylivemagazine/docs/live_magazine_issue_004.

¹³¹ Jim Shoe, “Beam Me Up Scotty, The Futuro House,” *Live, Music for your Eyes*, Winter 2013, 16. Accessed online July 2022 at https://issuu.com/nkylivemagazine/docs/live_magazine_issue_004.

¹³² Robert Detzel interview by report author, Christopher Harris, July 18, 2022.

building four Futuro houses, Frocker placed them at malls, charging a dollar for people to go inside them. Frocker referred to the units as “space-banks,” but due to the cost, logistics, and permits, only two more units were built. An inebriated Frocker later became “disgusted with them,” breaking the molds, and burning four of the six Futuro houses in addition to all the extra resin material one evening.¹³³

Knowing Frocker had two units remaining, Detzel purchased a single circa 1973 unit which he showcased at the Hart Production’s Home and Garden Show; Detzel charged fifty cents for the popular and profitable tours of the Futuro house.¹³⁴ For a few weeks after the previous showcase, Detzel charged for tours of the Futuro house, which he referred to as the “spaceship,” at Cincinnati’s newest shopping center, the Northgate Mall.¹³⁵ After repeating his success offering tours of the Futuro house at malls throughout the east coast and even on New Jersey’s Atlantic City boardwalk, Detzel placed the unit on the western hill slope of Wright Street its in 1976. Two years later in 1978, due to his development of condominiums on the western hillside, it was moved to its current location on the east side of Wright Street. The building has since become a tourist attraction for local residents and Futuro fans.¹³⁶

Later assessments of the success or failure of the Futuro house seem to vary widely. According to a 2005 *New York Times* article, “Then, in the early 1990’s, the Futuro began its comeback, when European artists started using the houses in installations.” As Suuronen was still living at the time of the 2005 *New York Times* article, the author was also able to include his feedback via the producer of a 1990s Futuro documentary that, “He [Suuronen] is very flattered and surprised because this is a totally new generation interested in his idea. But he is also puzzled what to do with all this newborn interest.”¹³⁷ At the other extreme, in a 2012 article in *The Guardian’s* Architecture section regarding the restoration of Suuronen’s Futuro house in Helsinki, Justin McGuirk provided the following assessment that, “An American company, Futuro Corporation, had high hopes for it [the Futuro house], but it was a flop there too, never rising above the level of the urban freak show . . .”¹³⁸ As of 2022, approximately sixty-four (64) Futuro homes are in existence worldwide, with approximately eighteen (18) confirmed extant in the United States with many of those reported as being in extremely poor condition.¹³⁹

¹³³ Robert Detzel interview by report author, Christopher Harris, July 18, 2022; Jim Shoe, “Beam Me Up Scotty, The Futuro House,” *Live, Music for your Eyes*, Winter 2013, 16. Accessed online July 2022 at https://issuu.com/nkylivemagazine/docs/live_magazine_issue_004.

¹³⁴ Jim Shoe, “Beam Me Up Scotty, The Futuro House,” *Live, Music for your Eyes*, Winter 2013, 16. Accessed online July 2022 at https://issuu.com/nkylivemagazine/docs/live_magazine_issue_004. The location of the remaining Frocker’s Futuro house is unknown.

¹³⁵ Jim Shoe, “Beam Me Up Scotty, The Futuro House,” *Live, Music for your Eyes*, Winter 2013, 16. Accessed online July 2022 at https://issuu.com/nkylivemagazine/docs/live_magazine_issue_004.

¹³⁶ Robert Detzel interview by report author, Christopher Harris, July 18, 2022.

¹³⁷ Phil Patton, “Futuro Flashback: The Prefab From Another Planet,” in *The New York Times*, July 28, 2005, accessed online at: <https://www.nytimes.com/2005/07/28/garden/futuro-flashback-the-prefab-from-another-planet.html>.

¹³⁸ Justin McGuirk, “Futuro – the ideal home that wasn’t,” in *The Guardian*, May 10, 2012, accessed online July 2022 at: <https://www.theguardian.com/artanddesign/2012/may/10/futuro-ideal-home-wasnt>.

¹³⁹ “Known Futuro Locations,” *The Futuro House*. Accessed online July 2022 at https://thefuturohouse.com/futuro_house_locations_and_maps.html.



Plate 12. Covington Futuro, looking SE.



Plate 13. Steel support piers of Covington Futuro, looking SE.

NRHP Eligibility: Eligible

Following the guidance of Criteria Consideration B for Moved properties, the Covington Futuro is recommended *Eligible* for listing in the NRHP under Criterion C with a period of significance of 1973-

1978. As it relates to Criteria Consideration B, the Futuro house was designed to be an easily transportable building intended to be moved as desired, usually using a helicopter. Futuro house architect Suuronen designed this “portable vacation home” to be mobile.¹⁴⁰ Although designed as a portable ski chalet which could be placed in remote areas with extreme weather conditions, the Futuro house in the United States seems to have been primarily used as a portable futuristic tourist attraction. For example, the owner of the Covington Futuro moved his building multiple times around the Covington area and throughout the east coast charging for tours. As such, the final location of the Covington Futuro on a hillside overlooking Cincinnati and Covington have provided and continue to provide an appropriate setting and association because, of a fashion, almost every setting is appropriate for a Futuro house.

Under Criteria Consideration B/Criterion C, the Covington Futuro is recommended *individually Eligible* as a good example of Modern, Futuristic style architecture. The recommended National Register boundary is the full parcel. The Covington Futuro is not currently within the boundaries of a National Register-listed historic district and does not appear to be within the boundaries of a proposed historic district. Its Futuristic character-defining features include its ellipsoid shell, octagonal windows, and downward-hinged door. Additionally, like other Futuristic buildings, the Futuro house utilized unconventional shapes and colors as well as modern materials such as plastic and chrome. Interestingly, the Covington Futuro appears to have been originally designed with only eight (8) windows, later increased to ten (10). This may raise its research value as this was still substantially fewer windows than in other US-manufactured models which usually included eighteen (18) windows and Finnish models which included twenty (20) total windows.¹⁴¹ As there are relatively few examples remaining and those are threatened by the continuing deterioration of the plastic shell, these often-relocated buildings have a higher level of significance, and their eligibility should be carefully considered. The Covington Futuro retains a relatively high level of historic integrity of design, materials, workmanship, and feeling which enable it to continue to convey the significance of its Futuristic style architecture. Finally, the recommendation that the Covington Futuro is eligible for listing in the NRHP is consistent with the precedent established in 2021 when the Donaldson Futuro in California was Listed in the NRHP under Criteria Consideration B/Criterion A and C. The Donaldson Futuro was moved to its current location in 2004 and, according to the draft nomination, had been moved at least six times prior to that. Due to its additional significance as the first Futuro house to arrive and be assembled in California and the only Futuro house in California until 2015, the Donaldson Futuro was also eligible for listing in the NRHP under Criteria Consideration B/Criterion A.¹⁴²

¹⁴⁰ Milford Wayne Donaldson and Eileen Mango, *Futuro, Donaldson Futuro*, NRHP draft nomination, September, 2020, Section 8, page 21.

¹⁴¹ *Ibid.*

¹⁴² *Ibid.*

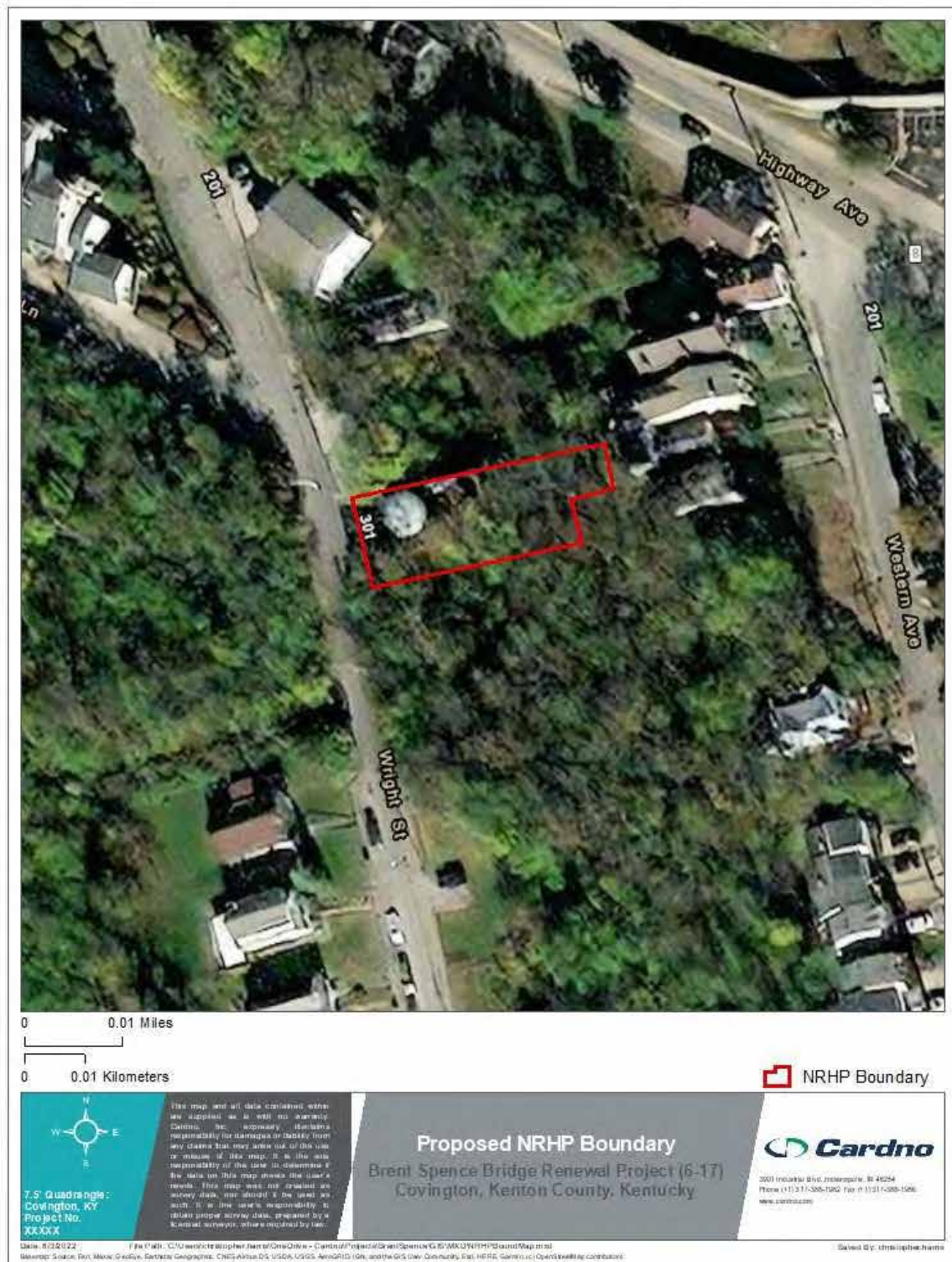


Figure 28. KEC-1048, Covington Futuro House, Recommended NRHP Boundary Map

Effects Assessment: No Effects

This Covington Futuro will experience No Effects from the proposed project. It is sufficiently screened from the location of the proposed new bridge and bridge approach by tree lines surrounding it to the north, east, south, and even across Wright Street to the west. Additionally, just past the tree lines, existing historic buildings along Western Avenue may provide some additional screening in some areas. As such, this property should not experience either any direct or indirect effects from the proposed undertaking.

Field Site 58

Northern Kentucky Townhouse
KECL-1055
Circa 1880
611 Crescent Avenue
Covington, KY 41011
39.083814, -84.523887



Plate 14. House and retaining wall (B), looking west.

Description:

This 2.5 story frame Northern Kentucky Townhouse was constructed circa 1880 in the Italianate style. The house is characterized by decorative wooden brackets beneath the roofline in the cornice. The side gable roof is covered with asphalt shingles with two interior, brick end chimneys at its northern/right elevation. The house is clad in vinyl siding on the façade, including the cornice, and south elevation, and weatherboard siding on its north elevation. The fenestration pattern is W-W. The windows are mainly 2/2 wood sash with two-light transom windows at the cornice and three-light horizontal wood frame windows that have been painted over in the basement level. The entry is protected by a metal storm door and has a transom above. The continuous foundation is cut stone. A 1.5 story addition is attached to the rear of the house. There is a mortared cut stone retaining wall (B) dating to the time the residence was built at the sidewalk in front of the house. The wall runs the length of the property with an opening at the south end for stone steps leading up to the walkway.

This property first shows up on the 1909 Sanborn Fire Insurance Maps as the earlier maps do not have this road mapped south of 6th Street. The 1909 Sanborn map depicts this property as a two story frame

dwelling with a slate or tin roof, a single story rear section, a side porch on the south elevation, and a single story outbuilding behind the dwelling.¹⁴³ By 1954 the outbuilding was no longer extant and part of the one story rear portion was gone, but the side porch was still shown on the south elevation.¹⁴⁴ This property was last surveyed as KECL-1055 in December 2006 and determined ineligible.



Plate 15. House and retaining wall (B), looking northwest.

NRHP Eligibility: Eligible

This house is recommended *individually Eligible* for listing in the NRHP under Criterion C as a notable example of a Northern Kentucky Townhouse. The recommended National Register boundary is the full parcel. The house is not currently within the boundaries of a National Register-listed historic district and does not appear to be within the boundaries of a proposed historic district. The house retains its character-defining features including its design and materials, its two story height, two bays of façade windows, original fenestration pattern, lack of façade entry door, 2/2 double hung wooden windows, at least one entire wall of its original weatherboard siding, original bracketed Italianate cornice, and its entrance at the side of the building. Location and setback are maintained along with its original

¹⁴³ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

¹⁴⁴ Sanborn Map Company, ; Republished 1954 Vol. 1, 1954, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_007/.

mortared stone wall along the front of the parcel. Although its integrity of association and feeling have been somewhat compromised by the loss of adjacent and nearby houses as well as major unsympathetic alterations to its neighboring houses, this house survives with a high level of integrity to convey its significance as a good representative example of a Northern Kentucky Townhouse.

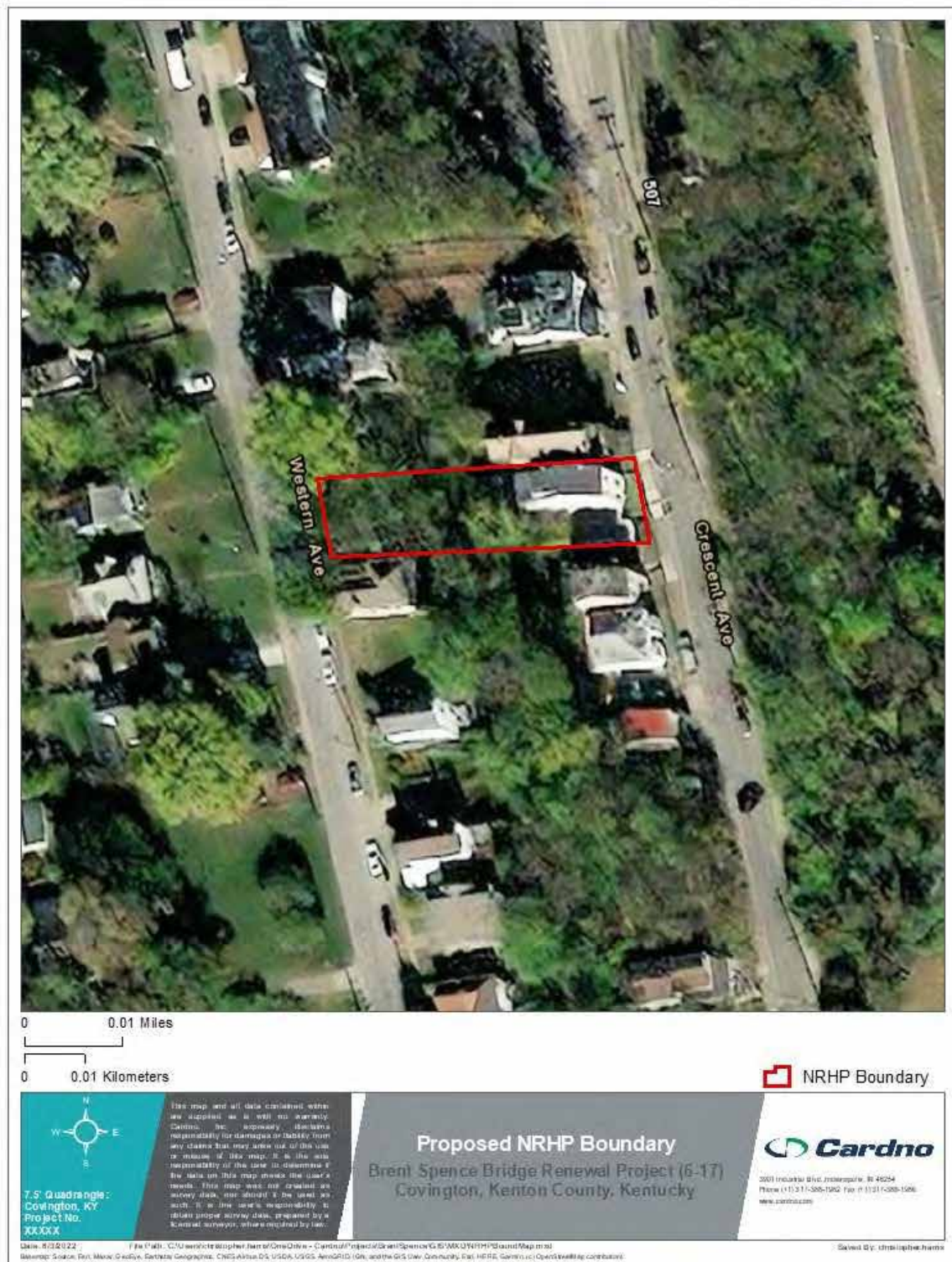


Figure 29. KECL-1055, Northern Kentucky Townhouse, Recommended NRHP Boundary Map

Effects Assessment: Adverse Effect

This property will experience an Adverse Effect from the proposed project. Currently, a tree line screens what remains of the viewshed of this property from I-71/I-75. The proposed right-of-way being acquired and the associated expansion of the interstate to the west will place the interstate significantly closer to this resource and will necessitate the removal of much, or all, of the tree line. As a result, and as this property faces east on Crescent Avenue which parallels the interstate, after the proposed new construction this property is likely to have a direct view of the interstate from its primary elevation. Thus, this property is likely to experience negative direct visual impacts to its integrity of feeling, setting, and association.

Field Site 71

Commercial Building
KEC-1064
Circa 1900
402 Bakewell Street
Covington, KY 41011
39.086434, -84.51861



Plate 16. Commercial building, looking east.

Description:

This three story, brick commercial building was constructed circa 1900 in the Romanesque Revival style. The roof is flat, and the roofing material could not be determined at the time of the survey. The building has three interior brick chimneys. Just below the roofline is a cornice featuring a deep soffit with brackets. The fenestration pattern is WW-D-WW. The windows on the lower level are fixed pane picture windows with vinyl frames with brick sills and brick below. The windows on the second level are 1/1 vinyl sash with rectangular lintels that have decorative scrollwork at the bottom. The upper level features a four part wood frame arched window with brick arch surround that has 3 keystones. The entry is a modern door with a 1/1 window above two panels. The door is covered by a canopy. The windows and entry on the first level are surrounded by a cast iron store front below a cornice with dentils and decorative brackets. The continuous foundation is cut stone.

Prior to 1900, the current building on this property did not exist. On the 1886 and 1894 Sanborn Fire Insurance Maps, a two story frame dwelling was in this location. The current building is first depicted on the 1909 Sanborn Fire Insurance Map as a three story brick building with a metal cornice and a slate or

tin roof.¹⁴⁵ According to Covington City Directories, this building served as a grocery until at least 1929 with apartments for rent. The 1908-1909 Covington and Newport Directory lists this property under Grocers and Saloons.¹⁴⁶



Plate 17. Commercial building, looking southeast.

NRHP Eligibility: Eligible

This property appears to retain sufficient historic integrity and significance and is recommended *individually Eligible* for listing in the NRHP under Criterion C. The recommended National Register boundary is the full parcel. The building is not currently within the boundaries of a National Register-listed historic district and does not appear to be within the boundaries of a proposed historic district. The building preserves its character-defining dominant four-part semicircular wooden window on the third story, cast iron storefront cornice and storefront piers, much of its historic fenestration, historic chimneys, and primary cornice featuring a deep soffit with brackets. The original storefront has been

¹⁴⁵ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

¹⁴⁶ The Williams Directory Company, 1908-1909, *Williams' Covington and Newport Directory*, [Williams' Covington and Newport directory \[1908-1909\] - City & County Directories - Digital Library \(cincinnatihistory.org\)](http://www.cincinnatihistory.org/directories/williams-covington-and-newport-directory-1908-1909/); The Williams Directory Company, 1920-1921, *Williams' Covington and Newport Directory*, [Williams' Covington and Newport directory \[1920-1921\] - City & County Directories - Digital Library \(cincinnatihistory.org\)](http://www.cincinnatihistory.org/directories/williams-covington-and-newport-directory-1920-1921/); The Williams Directory Company, 1928-1929, *Williams' Covington and Newport Directory*, [Williams' Covington and Newport directory \[1928-1929\] - City & County Directories - Digital Library \(cincinnatihistory.org\)](http://www.cincinnatihistory.org/directories/williams-covington-and-newport-directory-1928-1929/).

removed and replaced with non-historic brick veneer, fixed vinyl windows, and a replacement door which has impacted the historic integrity of design, feeling, materials, and workmanship to some degree; however, the remainder of the building preserves a high level of historic integrity such that the building is still able to convey its significance as a good example of a Romanesque Revival style commercial building.



Figure 30. KEC-1064, Commercial Building, Recommended NRHP Boundary Map

Effects Assessment: No Effects

This property will experience No Effects from the proposed project. This property, as a three-story commercial building at a prominent corner, has the interstate as an existing intrusion into its viewshed. In addition, the viewshed of this building has already been negatively impacted by non-historic commercial intrusions and by demolitions. Although the current undertaking will place the interstate somewhat closer to this building, it is distant enough, and screened sufficiently by existing buildings, that it should not experience any cumulative negative impacts.

Field Site 75

Chesapeake & Ohio Railroad Bridge

KEC-107 (Includes FS 188/KEC-1062, FS 189/KEC-1063, and FS 190/KEC0-1065

Circa 1929

Covington, KY 41011

39.091247, -84.519495



Plate 18. C & O Railroad Bridge (left) and Clay Wade Bailey Bridge (right), looking northwest.

Description:

The extant 1929 C & O Railroad bridge has a continuous 850 foot truss which, in 2006, was described as being “. . . the second largest of its kind in the world.”¹⁴⁷ Additionally, the designers of the bridge used a continuous truss design and silicon steel to help decrease its weight and save steel. Even with the weight savings, the bridge was believed to be the “heaviest bridge yet erected by locomotive cranes.”¹⁴⁸ The C & O Railroad Bridge is located approximately 865 feet from the centerline of the Brent Spence Bridge. Both the C & O Railroad Bridge and the adjacent but separate Clay Wade Bailey Bridge (see FS 233/KEC-1075) have 675 foot central channel crossing spans. The 1929 C & O Railroad Bridge was designed as “. . . a pair of subdivided Warren trusses continuous over four supports, with an overall length for the three

¹⁴⁷ KEC-107, 2006 KHRI survey form, (Frankfort: Kentucky Heritage Council, 1).

¹⁴⁸ “Continuous Truss Bridge 1,575 Ft. Long at Cincinnati: Ohio River Structure Part of \$12,000,000 Improvement Program of C & O Railway – Replaces Old Structure, Which Will Be a Toll Highway Crossing – Erection by Locomotive Cranes,” in *Engineering News-Record*, (New York: McGraw-Hill Publishing Company: 1929), F.E. Schmitt, Editor, November 7, 1929, 736.

spans of 1,575 feet. In 1929, taken into consideration with its maximum truss depth of 106 feet, the bridge superstructure became “. . . the second-largest continuous-truss span ever built.”¹⁴⁹

The first Chesapeake & Ohio (C & O) Railroad Bridge over the Ohio River between Covington, Kenton County, Kentucky, and Cincinnati, Hamilton County, Ohio, was completed in 1888 and was organized by the Covington & Cincinnati Elevated Railroad & Transfer & Bridge Company (C&CER&T&B) which also provided switching service between the C&O Covington Freight Yard and other railroad yards in Cincinnati. The Covington Freight Yard, west of Madison Avenue, was established concurrently - between 1886 and 1888. The original 1888 bridge was designed by William Burr and erected by the Philadelphia Bridge Company of Pennsylvania.¹⁵⁰ At the time it was built, the double track C & O Railroad Bridge included “. . . the longest simple [Pratt] truss span in the world at the time” for its 550 foot span from center to center of bearings over the channel.¹⁵¹ In 1929; however, the original 1888 bridge was determined insufficient to carry the weights of heavier early twentieth century rail traffic, was deeded to the Commonwealth of Kentucky for use as a highway bridge, and the bridge and its connected one-mile viaduct were reconstructed as a twenty-six (26) foot wide, “three-way bridge. . . with concrete flooring that would be ‘indestructible’” resting on the current steel and pier supports which they said would “last forever.”¹⁵²

Along with the reconstruction of the original 1888 C & O Railroad Bridge, the extant 1929 C & O Railroad Bridge was built as a new bridge directly adjacent to it. This construction of the 1929, double track, cantilevered through truss C & O Railroad Bridge was overseen by C.W. Johns, chief engineer of the C & O. The 1929 bridge and its approaches were built by the J.E. Griener Company of Baltimore, Maryland. Richard Khuen, Jr. was the general manager of the erection of the bridge and James L. deVou, central district erecting manager of the American Bridge Company, was in direct charge of the erection of the bridge.¹⁵³

¹⁴⁹ Carl W. Condit, *The Railroad and the City: A Technological and Urbanistic History of Cincinnati* (Columbus: Ohio State University Press: 1977), 241.

¹⁵⁰ Charles H. Bogart, “Chesapeake and Ohio Railroad Bridge,” in Paul Tenkotte and James Claypool, ed. *The Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 175.

¹⁵¹ Condit, *The Railroad and the City*, 99.

¹⁵² Christopher Harris and Kevin Karp, “Westside: Covington’s Unofficial Forgotten Community,” in *Northern Kentucky Heritage: A Periodical of Regional History and Genealogy*, Spring-Summer 2016, Vol. XXIII, No. 2 (Kenton County Historical Society: Covington, 34).

¹⁵³ “Continuous Truss Bridge 1,575 Ft. Long at Cincinnati: Ohio River Structure Part of \$12,000,000 Improvement Program of C & O Railway – Replaces Old Structure, Which Will Be a Toll Highway Crossing – Erection by Locomotive Cranes,” in *Engineering News-Record*, (New York: McGraw-Hill Publishing Company: 1929), F.E. Schmitt, Editor, November 7, 1929, 737.



Figure 31. May 1929 C&O Magazine Showing New 1929 C & O Bridge on April 3, One Day After Opening to Traffic¹⁵⁴

Along with the bridge itself, the 1929 bridge project also included, “. . . one and a half miles of approach viaducts divided between the Kentucky approach (1,600 feet) and the extension of the Interterminal Viaduct in Cincinnati to the south approach of the union terminal (6,200 feet), and a new six-track station in Covington.”¹⁵⁵ The 1929 C & O Railroad Bridge also required the elevation of the C & O railroad line through Covington and Cincinnati for 9,375 feet. Construction of the 1929 station also included the construction of a new C&O depot in Covington.¹⁵⁶ A May 1929 regional C & O Employees’ magazine ran an article about the new bridge describing some of its associated improvements. The article noted that “grade separation through the business part of Covington was accomplished by placing the new south approach to the bridge on a 0.3 per cent grade . . . to replace the 1 percent grade of the former approach,” which extended the grade, permitting the streets to cross under the tracks as far south as Eighth Street. At Twelfth Street, a new viaduct was required and at Robbins and Eleventh Streets new,

¹⁵⁴ Cover image, *The Chesapeake and Ohio: The Hocking Valley Employees’ Magazine*, May 1929, 3-5.

¹⁵⁵ Carl W. Condit, *The Railroad and the City: A Technological and Urbanistic History of Cincinnati* (Columbus: Ohio State University Press: 1997), 241.

¹⁵⁶ Charles H. Bogart, “Chesapeake and Ohio Railroad Bridge,” in Paul Tenkotte and James Claypool, ed. *The Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 175.

taller viaducts were required.¹⁵⁷ The replacement viaduct was “a new double-track plate-girder viaduct.” Two streets were also closed to traffic as part of Covington’s “grade-separation plan.”¹⁵⁸



Figure 32. 1888 Original C & O Railroad Bridge beside 1929 C & O Railroad Bridge in the 1950s¹⁵⁹

¹⁵⁷ Myrtle I. Cooper, Assistant Editor, “New Ohio River Bridge Opens for Traffic: Small Group of Officials and Employees Make Initial Trip After Inspecting Extensive improvements at Covington, Ky,” in *The Chesapeake and Ohio: The Hocking Valley Employees’ Magazine*, May 1929, 3-5.

¹⁵⁸ “Continuous Truss Bridge 1,575 Ft. Long at Cincinnati: Ohio River Structure Part of \$12,000,000 Improvement Program of C & O Railway – Replaces Old Structure, Which Will Be a Toll Highway Crossing – Erection by Locomotive Cranes,” in *Engineering News-Record*, (New York: McGraw-Hill Publishing Company: 1929), F.E. Schmitt, Editor, November 7, 1929, 734.

¹⁵⁹ Bernie Spencer, “C. & O. Bridge a.k.a. The Clay Wade Bailey Bridge,” on website Northern Kentucky Views: A Broad Collection of Images and Texts on the History of Northern Kentucky, Accessed online July 2022 at: https://www.nkyviews.com/kenton/kenton_co_bridge.htm.



Plate 19. 1929 C & O Railroad Viaduct at Gentleman Jim's Liquor (Main at W. 4th), looking north

In October 1970, the original 1888 C & O Railroad Bridge, then a highway bridge, was removed to make way for the Clay Wade Bailey Bridge (see FS 233/KEC-1075), which opened in 1974.¹⁶⁰ The 1929 C & O Railroad Bridge and the Clay Wade Bailey Bridge share two piers.¹⁶¹ Up until the time the L & N Railroad became part of CSX Railroad, which currently uses the bridge, the C & O Railroad shared its bridge with the Louisville & Nashville (L & N) Railroad which leased track rightage across it.¹⁶²

¹⁶⁰ Ibid.

¹⁶¹ Parsons Brinkerhoff America in Association with Gray & Pape, Inc., *Brent Spence Bridge Replacement/Rehabilitation Project, History/Architecture Report, Kenton County, Kentucky, ODOT PID No. 75119, HAM-71/75-0.00/0.22, KYTC Project Item No. 6-17*, April 2010; "Clay Wade Bailey Bridge," Bridges and Tunnels, accessed July 5, 2022, [Clay Wade Bailey Bridge - Bridges and Tunnels \(bridgestunnels.com\)](https://bridgestunnels.com).

¹⁶² Charles H. Bogart, "Chesapeake and Ohio Railroad Bridge," in Paul Tenkotte and James Claypool, ed. *The Encyclopedia of Northern Kentucky*, 175.

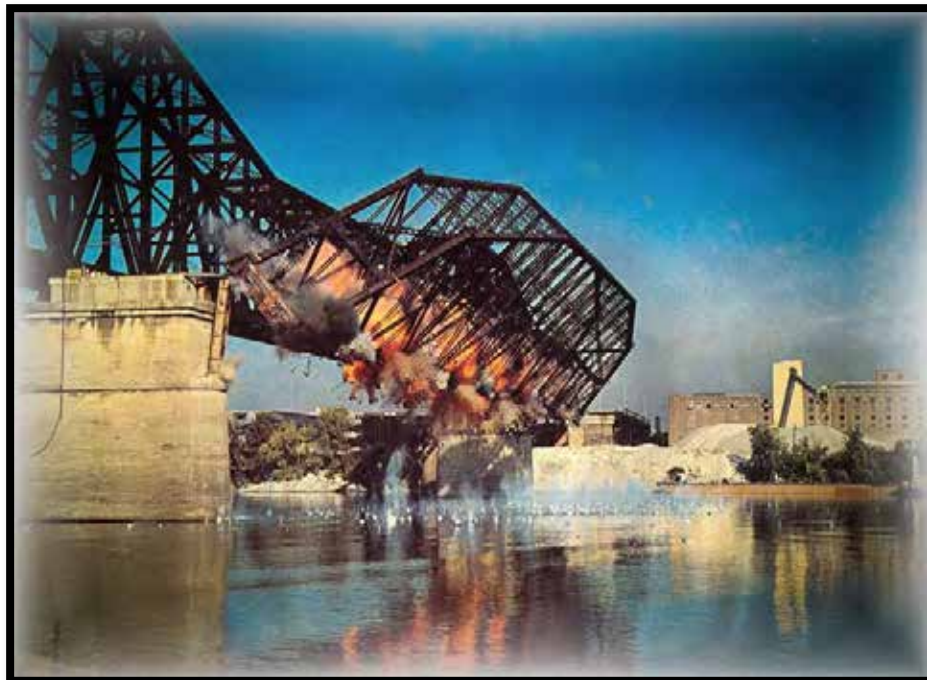


Figure 33. October 1970 Controlled Demolition of Original 1888 C & O Railroad Bridge¹⁶³

The C & O Railroad Bridge was last re-surveyed along with the Clay Wade Bailey Bridge as KEC-107 in December 2006 and both bridges together were determined *Individually Eligible*. The undated, first KHRI form for the C & O Railroad Bridge appears to have been completed prior to construction of the Clay Wade Bailey Bridge since it still refers to the Architect/Builder of the bridge as “William H. Burr,” who built the original 1888 bridge (not the 1929 bridge). On its most recent survey form, the authors combined both the C & O Railroad Bridge and the Clay Wade Bailey Bridge thus resulting in both bridges being assigned the same KHC number; however, for the purposes of this report, the two bridges are being documented separately. Based on coordination with the KHC survey coordinator, the C & O Railroad Bridge will retain KHC number KEC-107 and the Clay Wade Bailey has been assigned new KHC number KEC-1075. Associated contributing features to this bridge include the important approach bridges that feed into this Ohio River bridge and include FS 188/KEC-1062, FS 189/KEC-1063, and FS 190/KEC0-1065

NRHP Eligibility: Eligible

The 1929 C & O Railroad Bridge has previously been determined *individually Eligible* under Criterion C for its design and associated technological advances in the area of significance of Engineering. While the C & O Railroad Bridge continues to be recommended *individually Eligible* for listing in the NRHP under Criterion C, it is now additionally recommended *individually Eligible* under Criterion A. Under Criterion A, the C & O Railroad Bridge is significant in the area of significance of Transportation as a railroad bridge

¹⁶³ Bernie Spencer, “C. & O. Bridge a.k.a. The Clay Wade Bailey Bridge,” on website Northern Kentucky Views: A Broad Collection of Images and Texts on the History of Northern Kentucky, Accessed online July 2022 at: https://www.nkyviews.com/kenton/kenton_co_bridge.htm.

associated with the development of transportation infrastructure in the Cincinnati-Northern Kentucky area. Additionally, the designers of the bridge used a continuous truss design and silicon steel to help decrease its weight and save steel. Even with the weight savings, the bridge was believed to be the “heaviest bridge yet erected by locomotive cranes.”¹⁶⁴ The 1929 C & O Railroad Bridge was developed specifically to continue the vital railroad connection between Covington, Kentucky and Cincinnati, Ohio, and it facilitated associated significant developments such as new railroad terminals/depots and associated elevated railroad/viaduct systems. The 1929 C & O Railroad Bridge elevated railroad/viaduct connections throughout this part of Covington directly influenced the evolution of the design of the city itself.

Under Criterion C, the 1929 C & O Railroad Bridge has a continuous 850 foot truss which, in 2006, was described as being “. . . the second largest of its kind in the world.”¹⁶⁵ In 1929, with its 675 foot central channel span taken into consideration with its maximum truss depth of 106 feet, the bridge superstructure became “. . . the second-largest continuous-truss span ever built.”¹⁶⁶ The 1929 C & O Railroad Bridge is a notable example of its type as an early twentieth century Warren truss bridge that also included the second-largest continuous-truss span ever built in 1929. The proposed NRHP boundary previously recommended included, “. . . the footprint of the bridge, including its piers, its super and sub-structures, and associated approaches . . .” and that NRHP boundary description is supported in this report.¹⁶⁷ The associated approach bridges, based on the results of the current survey, should include FS 188.

¹⁶⁴ “Continuous Truss Bridge 1,575 Ft. Long at Cincinnati: Ohio River Structure Part of \$12,000,000 Improvement Program of C & O Railway – Replaces Old Structure, Which Will Be a Toll Highway Crossing – Erection by Locomotive Cranes,” in *Engineering News-Record*, (New York: McGraw-Hill Publishing Company: 1929), F.E. Schmitt, Editor, November 7, 1929, 736.

¹⁶⁵ KEC-107, 2006 KHRI survey form, (Frankfort: Kentucky Heritage Council, 1).

¹⁶⁶ Carl W. Condit, *The Railroad and the City: A Technological and Urbanistic History of Cincinnati* (Columbus: Ohio State University Press: 1977), 241.

¹⁶⁷ Brandon L. McCuin, Gray & Pape, Inc. with Parsons Brinckerhoff America, *Brent Spence Bridge Replacement/Rehabilitation Project History/Architecture Report, Kenton County, Kentucky, KYTC Project Item No. 6-17*, for Kentucky Transportation Cabinet, April 2010, 53.



Figure 34. KECL-107, Chesapeake & Ohio Railroad Bridge, Recommended NRHP Boundary Map.

Effects Assessment: No Adverse Effect

This property will experience No Adverse Effect from the proposed project. Although the proposed new bridge which will parallel the existing Brent Spence Bridge will likely be minimally visible from the C & O Railroad Bridge, it will be screened somewhat from the new bridge by the Brent Spence Bridge. The introduction of a new Ohio River bridge would be generally in keeping with the types and uses of structures within the existing viewshed and, unless the new bridge is significantly different from the existing, it is not likely to create negative impacts to the historic integrity of the existing bridges. The proposed new bridge will not impact the historic integrity of the existing C & O Railroad Bridge to convey its significance in the areas of Engineering and Transportation.

Field Site 188

C&O Railroad Approach Bridge

Bridge No. 059R00633N

KEC-1062/KEC-107

Circa 1932

North end of Bakewell Street

Covington, KY 41011

39.088177, -84.518687



Plate 20. CSX Railroad Bridge No. 059R00633N (KEC-1062), looking east.

Description:

This circa 1932 approach bridge south of the CSX Railroad bridge crosses over the north end of Bakewell Street, also referred to as Pete Rose Pier. Eighty-three feet in length, this bridge is constructed of riveted multi-beam steel girders and steel support trusses and runs adjacent to the Clay Wade Bailey Bridge (059B0049N). This reinforced concrete bridge decking supports two sets of tracks. Originally part of the Chesapeake and Ohio Railroad, the rail line is owned by the CSX Railroad and was raised to a higher elevation to meet the level of the new C&O bridge (KEC-107) and southern sections of rail during the late 1920s.



Plate 21. CSX Railroad Bridge No. 059R00633N (KEC-1062). Steel support truss and girders, looking north.



Plate 22. CSX Railroad Bridge No. 059R00633N (KEC-1062). Northern section of bridge, looking north.

NRHP Eligibility: Eligible/Contributing Element to C & O Railroad Bridge

Although surveyed with its own field site number, this circa 1932 riveted steel and reinforced concrete approach bridge is recommended Eligible as an important feature associated with the C & O Railroad Bridge as it has been defined (see KEC-107). The approach bridges connect the elevated portion of the railroad with the grade of the main bridge.

Field Site 189

C&O Railroad Approach Bridge

Bridge No. 059R00602N

KEC-1063/KEC-107

Circa 1930

West Third Street

Covington, KY 41011

39.0876, -84.51841



Plate 23. CSX Railroad Bridge No. 059R0062N (KEC-1063), looking east.

Description:

This circa 1930 approach bridge south of the CSX Railroad Bridge crosses over West Third Street. One hundred-fifty feet in length, this bridge is constructed of riveted multi-beam steel girders and steel support trusses with square concrete footers. The reinforced concrete bridge decking supports two sets of tracks. Originally part of the Chesapeake and Ohio Railroad, this rail line is owned by the CSX Railroad, and was raised to a higher elevation to meet the level of the southern sections of rail during the late 1920s.



Plate 24. CSX Railroad Bridge No. 059R0062N (KEC-1063), looking south.



Plate 25. CSX Railroad Bridge No. 059R0062N, (KEC-1063). Steel support truss and girders, looking SE.

NRHP Eligibility: Contributing to C & O Railroad Bridge

Although surveyed with its own field site number, this circa 1930 riveted steel and reinforced concrete approach bridge is recommended Eligible as an important feature associated with the C & O Railroad Bridge as it has been defined (see KEC-107). The approach bridges connect the elevated portion of the railroad with the grade of the main bridge.

Field Site 190

C&O Railroad Approach Bridge
Bridge No. 059R00610N
KEC-1065/KEC-107
Circa 1930
West Fourth and Fifth Streets
Covington, KY 41011
39.085766, -84.517072



Plate 26. CSX Railroad Bridge No. 059R00610N (KEC-1065), looking NE.

Description:

This circa 1930 approach bridge south of the CSX Railroad Bridge crosses over West Fourth and Fifth Streets. This bridge is constructed of eleven riveted multi-beam steel girders and steel support trusses with square concrete footers, and totals 1700 feet in length. The reinforced concrete bridge decking supports the sets of tracks. Originally part of the Chesapeake and Ohio Railroad, this rail line is owned by the CSX Railroad. The southern section of this railroad was elevated during the late 1920s to alleviate traffic and safety issues, which occurred at its crossings. The northern section was also raised to a higher elevation to meet the level of the southern sections of rail at this time. A late nineteenth century carved limestone wall is located on the south side of Fifth Street, below the bridge's steel support truss.



Plate 27. CSX Railroad Bridge No. 059R00610N (KEC-1065), looking north.



Plate 28. CSX Railroad Bridge No. 059R00610N (KEC-1065), looking NW.



Plate 29. CSX Railroad Bridge No. 059R00610N (KEC-1065). Steel support truss and girders looking north.



Plate 30. CSX Railroad Bridge No. 059R00610N (KEC-1065) (KEC-1065), Left: Representative example of bridge deterioration, looking SW. Right: Late nineteenth century stone wall adjacent to the south side of Fifth Street, below bridge support truss.

NRHP Eligibility: Contributing to C & O Railroad Bridge

Although surveyed with its own field site number, this circa 1930 riveted steel and reinforced concrete approach bridge is recommended Eligible as an important feature associated with the C & O Railroad Bridge as it has been defined (see KEC-107). The approach bridges connect the elevated portion of the railroad with the grade of the main bridge.

Field Site 76

The Quality Inn / Radisson Hotel

KEC-1038

Circa 1972

626 W. 5th Street

Covington, KY 41011

39.08577, -84.5219



Plate 31. The Quality Inn / Radisson Hotel, looking northwest.

Description:

The Quality Inn / Radisson Hotel is an eighteen (18)-story reinforced concrete high-rise hotel tower constructed circa 1972. This hotel is characterized by its Space Age-influenced fluid scalloped curves at the top story with a revolving restaurant. The building is a round tower with windows and balconies divided by thin vertical concrete bands. The roof is flat and features a curved scalloped edge. The fenestration pattern includes tripartite balcony windows, set on a concrete curved balcony, with a trapezoid shaped metal railing. On the eighteenth story is a revolving restaurant, called “Eighteen,” that features full height glazing resting on the scalloped concrete base.

The tower’s rectangular base is brick veneer with cast stone pilasters, water table, cornice, and quoins. A cast stone porte cochère extends over the vehicular driveway to the main glazed entrance. Exterior metal doors are located on the other elevations. The building is associated with an L-shaped circa 1972 outbuilding (B) constructed of poured concrete and concrete block. This outbuilding is characterized by its utilitarian style and flat roof. There are no windows, but there are two metal doors on the northern elevation. The foundation is concrete. The building is also associated with a one story circa 1972

outbuilding (C) constructed of poured concrete. This outbuilding is characterized by its utilitarian style and flat roof. There are no windows but there is one metal door on the northern elevation. The foundation is concrete.

During the 1950s through the 1970s, dozens of cities across Europe and America built towers capped by revolving restaurants. The most famous revolving restaurant in the United States is Seattle's Space Needle tower built for the World's Fair in 1962. These types of revolving restaurants drew inspiration from the Space Age style and reflected the optimism of post-World War II America.¹⁶⁸

In 1969, Covington developers ACCD Co. Inc. (Adair-Conrad-Conrad-Deters) planned to develop three acres of vacant land along Interstate 75 between 4th and 5th Streets. In order to construct Interstate 75 in the 1960s, the area with its accompanying houses was demolished leaving a vacant site. The developers sought, and later received approval from the City's Board of Adjustment, a variance to construct a twenty-story building up to 200 feet since the location was limited to eighty (80) feet in height. Architecture firm Lundgren and Maurer of Austin, Texas, initially designed two towers connected by street level shopping with parking in the lower floors; however, the street level shopping and second tower were never built.

When the cylindrical high rise tower motel opened in 1972, it became the first building housing a revolving restaurant in the Cincinnati area and was operated as the Quality Inn Riverview Motel by Frisch's Restaurants Inc.¹⁶⁹ The hotel was estimated to have cost three million dollars and its rotating restaurant could seat 300 diners and took a full hour to complete one rotation.¹⁷⁰ The eighteen (18)-story motel had 241 guest rooms with associated private dining rooms on the sixteenth floor. The main banquet and meeting rooms were on the ground floor with a pub style restaurant called Kelly's Landing at the lobby level.¹⁷¹ In 2000, Frisch's sold the hotel to Steve Mullinger, founder of Stevens Hotel Management Group and the hotel became part of the Radisson Hotels of America chain.¹⁷² The hotel underwent a five-million-dollar renovation in 2017.¹⁷³

¹⁶⁸ Mitch Moxley, "Letter of Recommendation: Revolving Restaurants," *New York Times*, March 26, 2019, <https://www.nytimes.com/2019/03/26/magazine/letter-of-recommendation-revolving-restaurants.html> (accessed July 13, 2022).

¹⁶⁹ Jack Hicks, "Way now Clear for 'Skyscraper'," *The Cincinnati Enquirer*, February 3, 1970, <https://www.newspapers.com/image/104387426/?terms=%22revolving%20restaurant%22%20Kentucky&match=1> (accessed July 13, 2022).

¹⁷⁰ *The Cincinnati Enquirer*, "Developers Ask Higher Ceiling for New Motel," <https://www.newspapers.com/image/104600948/?terms=%22revolving%20restaurant%22%20Kentucky&match=1> (accessed July 13, 2022).

¹⁷¹ *The Cincinnati Post*, "Quality Inn Riverview nearing completion date," September 29, 1972, <https://www.newspapers.com/image/763924987/?terms=%22quality%20inn%20riverview%22%20%22open%22&match=1> (accessed July 13, 2022).

¹⁷² Bob Driehaus, "Frisch's sells hotel in Norwood," *The Cincinnati Post*, May 15, 2001, <https://www.newspapers.com/image/765626667/?terms=%22Radisson%22%20%22Quality%20Hotel%22&match=1> (accessed July 14, 2022).

¹⁷³ Sarah Brookbank, "Take a look inside the Radisson hotel, 'an icon renewed'," *Cincinnati Enquirer*, June 1, 2017, <https://www.cincinnati.com/story/money/business/2017/06/02/take-look-inside-radisson-hotel-an-icon-renewed/364052001/> (accessed July 13, 2022).



Plate 32. The Quality Inn / Radisson Hotel, looking west.



Plate 33. The Quality Inn / Radisson, looking northeast.



Plate 34. Outbuilding (B), looking southwest.



Plate 35. Outbuilding (C), looking southeast.

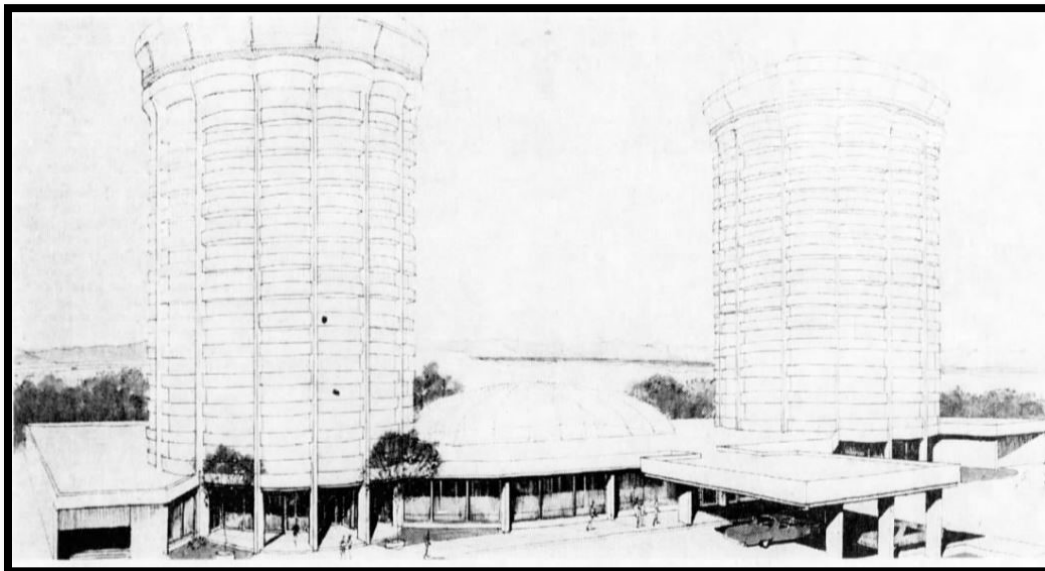


Figure 35. The Quality Inn / Radisson, historic architectural rendering.¹⁷⁴

NRHP Eligibility: Eligible

The Quality Inn / Radisson Hotel is recommended *individually Eligible* for listing in the NRHP under Criterion C as a good example of a freestanding late twentieth century cylindrical high-rise hotel tower as well as a notable example of modern space-age style architecture that is rare and innovative in the region. The recommended National Register boundary is the full parcel. The hotel is not currently within the boundaries of a National Register-listed historic district and does not appear to be within the boundaries of a proposed historic district. The hotel is also significant for its association with the development and evolution of the rotating restaurant trend throughout the United States in the mid- to late-twentieth century. Finally, being able to compare the building as it was ultimately constructed with the original historic architectural renderings as conceived provides important insight into the inspirations and challenges of architectural design in the 1970s. The hotel stands as a physical manifestation of Covington's 1970s ambition.

¹⁷⁴ Jay Hicks, February 3, 1970.

Effects Assessment: No Adverse Effect

This property will experience No Adverse Effect from the proposed project. Although the proposed construction activities will place the interstate closer to the Quality Inn/Radisson Hotel, no additional right-of-way is being acquired in this area. Additionally, the new interstate construction will all occur outside the proposed National Register boundary for this property. As a result, although the interstate will be more visible, the interstate already exists within the viewshed, and these visual impacts are not likely to affect the integrity of the modern space-age architecture which make the property eligible for listing in the NRHP.

Field Site 77

Brent Spence Bridge

KEC-820

1963

Covington, KY 41011

39.090862, -84.522713



Plate 36. Brent Spence Bridge, looking NW.

Description:

The Brent Spence Bridge was named in honor of Brent Spence, a congressman who served sixteen terms. The Brent Spence Bridge (059B00046N) spans 1,736.5 feet across the Ohio River connecting Covington, Kentucky to Cincinnati, Ohio. The double-deck steel cantilever thru-truss bridge was constructed in 1963. The American Bridge Company and the Modjeski and Masters were tasked with designing the bridge. The upper deck of the structure carries southbound traffic while the lower deck carries northbound traffic. After two years of construction, the bridge was dedicated in November of 1963. The federal government paid for 90 percent of the construction cost, Kentucky paid nine percent, and Ohio paid one percent.¹⁷⁵ The bridge was originally constructed to carry 80,000 vehicles per day

¹⁷⁵ Christopher Janson, "Spanning the Ohio: The Bridges of Cincinnati," accessed August 2022 online at <https://kentoncountyhistoricalsociety.org/data/documents/August-1998.pdf>.

across the river.¹⁷⁶ However, as of 2020, the bridge carries over 132,000 vehicles each day.¹⁷⁷ This property was last surveyed as KEC-820 in August 2020 and determined eligible.

The origins of America’s Interstate Highway System and the Brent Spence can be traced to 1944, when Congress and President issued the Federal-Aid Highway Act of 1944. The major legislation of this act is that amended the Federal –Aid Road Act of 1916 by authorizing the federal funding for post-war construction of a highways and secondary, feeder roads, using a 50-50 formula.¹⁷⁸ Over the next twelve years many early attempts to develop an interstate system in northern Kentucky failed, mostly due to disagreements over the location of the interstate and where it should cross into Ohio. In 1956, President Eisenhower signed the Federal Aid Highway Act, also known as the National Interstate and Defense Highway Act.¹⁷⁹ This act guaranteed 90 percent of the construction cost of the Interstate Highway system would be funded at the federal level.¹⁸⁰ That same year Covington and Cincinnati agreed to connect their portions of the interstate with a bridge west of each city’s downtown, with Covington’s preferred site was Willow Run Creek, a small tributary of the Ohio River that separated the Westside neighborhood and Lewisburg thought to be “expendable due to its poor condition.”¹⁸¹



Figure 37. Images of Willow Run Creek and the Westside Neighborhood of Covington, Kentucky. Left: 1929. Right: 1954.¹⁸²

Federal officials approved this site for the Brent Spence Bridge in October 1956 and the U.S. Bureau of Public Roads approved the engineering plans in January 1957.¹⁸³ In June of that same year, the remaining interstate plans were approved and funds were allocated for the acquisition and demolition

¹⁷⁶ Gray and Pape report, 6.

¹⁷⁷ Kentucky Transportation Department, “059B00046N,” accessed August 2022 online at <https://maps.kytc.ky.gov/bridgedataminer/>.

¹⁷⁸ *Federal-Aid Highway Act of 1944*, Public Law 78-521, 78th Cong., 2d sess., December 20.

¹⁷⁹ *Federal Aid Highway Act of 1956*, Public Law 84-627, 84th Cong., 2d sess., June 20.

¹⁸⁰ *Ibid.*

¹⁸¹ Christopher Harris and Kevin Karp, “Westside: Covington’s Unofficial Forgotten Community,” in *Northern Kentucky Heritage: A Periodical of Regional History and Genealogy*, Spring-Summer 2016, Vol. XXIII, No. 2 (Kenton County Historical Society: Covington, 44).

¹⁸² “Aerial Views of Covington,” *Northern Kentucky Views*. Accessed online July 2022 at https://www.nkyviews.com/kenton/kenton_cov_aerials.htm.

¹⁸³ Christopher Harris and Kevin Karp, 45.

of 250 properties within this new section of interstate right-of-way; 100 of these 250 properties were located in the Westside and Lewisburg neighborhoods immediately south of the proposed Brent Spence Bridge.¹⁸⁴ In 1963, the finished Brent Spence Bridge completed the section of I-75 between Dayton, Ohio, and Georgetown, Kentucky.



Figure 38. 1963 Views of the Brent Spence Bridge under construction, looking northwest.¹⁸⁵ Left: looking NW. Right: looking north.¹⁸⁶



¹⁸⁴ Ibid.

¹⁸⁵ "Other Ohio River Bridges," *Northern Kentucky Views*. Accessed online July 2022 at https://www.nkyviews.com/kenton/kenton_other_bridge.htm.

¹⁸⁶ Ibid.

Figure 39. Circa 1964 aerial image of the Brent Spence Bridge and I-75 just after construction concluded.¹⁸⁷



Plate 37. Brent Spence Bridge, looking north.

¹⁸⁷ "Aerial Views of Covington," *Northern Kentucky Views*. Accessed online July 2022 at https://www.nkyviews.com/kenton/kenton_cov_aerials.htm.



Plate 38. Brent Spence Bridge substructure, showing trusses and steel deck cantilevers, looking NE.



Plate 39. Detail of Brent Spence Bridge pier showing depth markings, looking west.



Plate 40. Brent Spence Bridge, looking NE.

NRHP Eligibility: Eligible

The 1963 Brent Spence Bridge continues to be recommended *individually Eligible* for listing in the NRHP under Criterion C for its design and associated technological advances in the area of significance of Engineering as a rare example of a cantilever through truss bridge with a double deck configuration.¹⁸⁸ The bridge also continues to be recommended *individually Eligible* under Criterion A in the area of significance of Transportation as a critical interstate commerce connection between Covington, Kentucky, and Cincinnati, Ohio.¹⁸⁹ The Brent Spence Bridge is not currently within the boundaries of a National Register-listed historic district and does not appear to be within the boundaries of a proposed historic district. Although the bridge has undergone regular maintenance and rehabilitation and its integrity of materials and workmanship have been impacted over time to some degree, its historic integrity of location, design, setting, feeling, and association have not been impacted and it retains sufficient historic integrity to convey its significance. Both types of trusses, all the piers, and the bridge and road alignment are original to 1963. The recommended National Register boundary includes footprint of the bridge, including its piers, its super and sub-structures, but does not include the associated approach bridge (see FS 186/KEC-1058). This narrative can be viewed in the Not Eligible Section of this report.

¹⁸⁸ KYTC Item No. 6-17.09, Route I-75/I-71, Brent Spence Bridge Maintenance, KYTC Historic Architectural Investigation Form (PA-2), fully signed 9-8-2020, 4.

¹⁸⁹ *Ibid.*

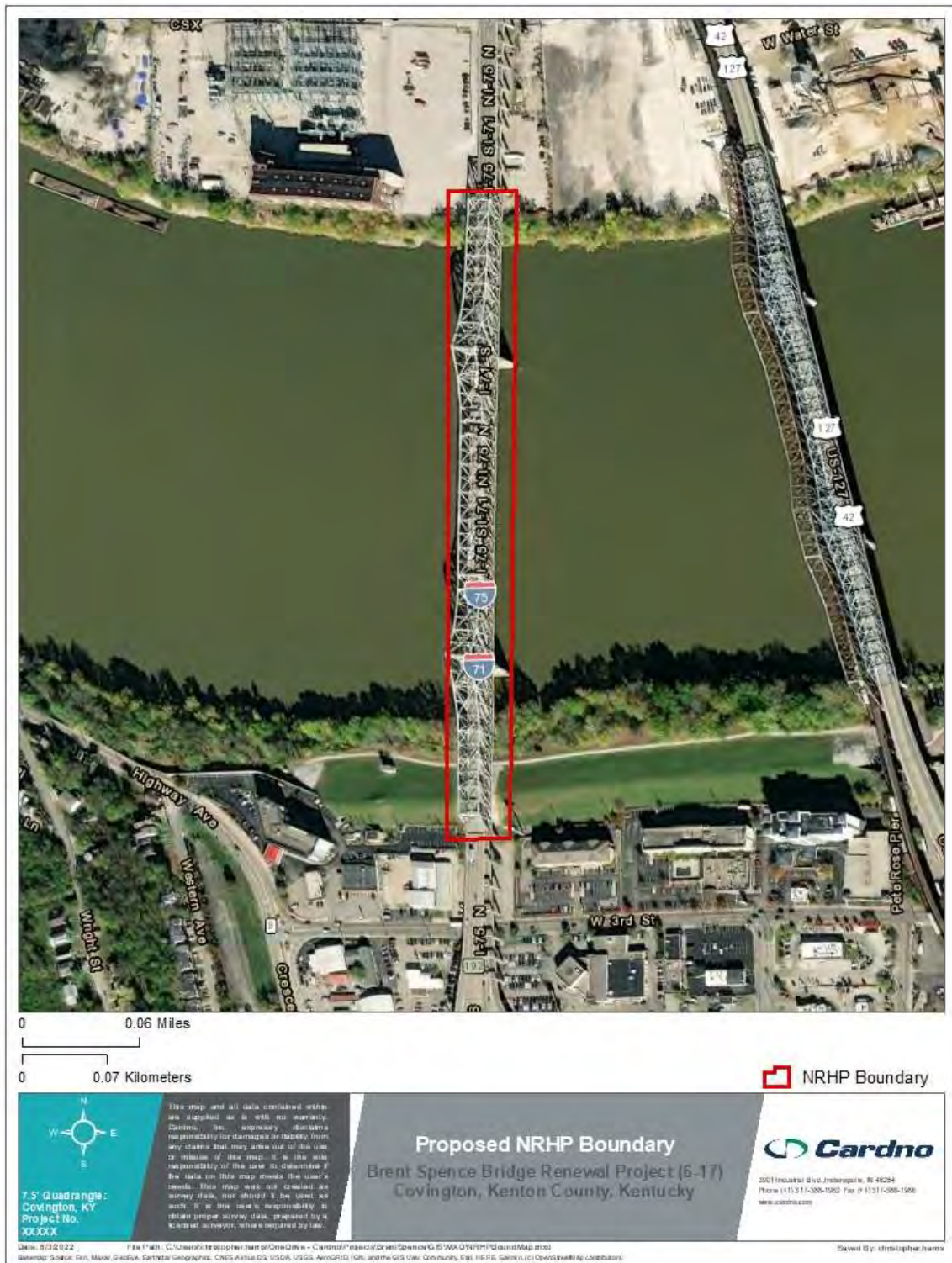


Figure 40. KEC-820, Brent Spence Bridge, Recommended NRHP Boundary Map

Effects Assessment: No Adverse Effect

This property will experience No Adverse Effect from the proposed project. The proposed new bridge which will parallel the existing Brent Spence Bridge will introduce a new bridge in close proximity and thus modify its viewshed. Additionally, the proposed new bridge may somewhat interfere with the appreciation of the western Brent Spence Bridge trusses when looking northeast from the Kentucky shoreline. Although this is the case, the eastern bridge trusses will retain their visibility when looking northwest from the Kentucky shoreline. Additionally, the introduction of a new Ohio River bridge would be generally in keeping with the types and uses of structures within the existing viewshed and, unless the new bridge is significantly different from the existing, it is not likely to create negative impacts to the historic integrity of the existing bridges. The proposed new bridge will not impact the historic integrity of the existing Brent Spence Bridge to convey its significance in the areas of Engineering and Transportation.

Field Site 78

Covington Levee System

KEC-1068

Circa 1948

602 W. 2nd Street

Covington, KY 41011

39.08864, -84.52097



Plate 41. Covington Levee System. Southside of earthen levee wall, looking northwest from the rear (northern) parking lot of KEC-1060.

Description:

This Covington Levee System (USACE 3904060001) was constructed between 1948 to 1955 at the confluence of the Ohio and Licking Rivers in Kenton County. It consists of 2.84 miles of earthen levee and concrete wall and includes ten pumping stations and eight traffic openings.¹⁹⁰ Within the APE, the flood control levee and wall measures approximately .44 miles between Wright Street and Highway Avenue and 2nd Street and Greenup Street. This levee system is characterized by a wide-based earthen berm structure and a tall concrete flood wall built to withstand 83 feet of flood waters. The concrete walls are attached to concrete footers 4 feet thick that are as wide as the wall is high. The walls are 3.5 feet deep at the bottom and 1.5 feet deep at the top. The height of the concrete wall varies from 16 to 34 feet depending on the site-specific height required. The concrete is reinforced with steel and the joints are sealed with copper water stops to prevent water from leaking through the joints. The earthen

¹⁹⁰ Charles E. Parrish et al., "Flood Control," *Encyclopedia of Kentucky*, 345.

levee varies in width from 12 feet at the top, to approximately 150 feet wide at the base, and approximately 25 feet high. The levee has been seeded with grass to prevent erosion.¹⁹¹

The 1936 Federal Flood Control Act provided funding for construction costs associated with flood control, while city governments paid for the right-of-way costs.¹⁹² This act provided relief to the communities along the Ohio River and its tributaries that frequently experienced major flooding. Major floods occurred in 1883, 1884, and 1913 as well as the catastrophic flood of 1937. In that year, the Ohio River swelled over the course of ten days to 79.99 feet, more than 27 feet above flood stage. It affected ten states and some communities were almost 50 percent under water. Transportation ground to a halt, the C&O Railroad Bridge and the John A. Roebling Bridge remained the only lifelines between Northern Kentucky and Cincinnati. Fifty thousand Northern Kentucky residents were homeless, and the community suffered approximately one million dollars in property damage.¹⁹³ After this tragedy, the construction of flood control measures became a top priority for Ohio River communities. In 1945, Covington raised a \$600,000 bond to cover their share of flood control costs. By 1950, the project was well underway and expected to cost \$9.2 million, of which 8.4 million was spent for construction and 80,000 dollars for lands and non-federal damages. The work was done by the U.S. Army Corps of Engineers (USACE), Louisville District with Thomas Scalise and Lieutenant Colonel C. Bidgood overseeing the private contractors. The contractors of Covington's portion of the levee system were Terry & Stedman Inc. of Bay City, Michigan and W. L. Johnson [sic.] Construction Co. Columbus, Ohio. Local materials were used as much as possible. Ready-Mixed Concrete Co. of Covington supplied the concrete and the aggregates for the concrete came from the Ohio Gravel Co., in Cincinnati. Inspection of historic aerial photography from 1955 onward indicate the overall form and shape of the earthen levee and flood walls have remained the same since construction.¹⁹⁴

¹⁹¹ "\$18,000,000 Put in Fight Against Floods," *The Kentucky Post and Times-Star*, October 5, 1950, <https://www.newspapers.com/image/760742969/> (accessed July 12, 2022).

¹⁹² IBID.

¹⁹³ Charles Parrish et al., 345-347.

¹⁹⁴ Nationwide Environmental Title Research, 1955, <https://historicaerials.com/viewer> (accessed July 21, 2022).



Plate 42. Covington Levee System within the APE. Southside of concrete levee wall north of Highway Avenue between Western Avenue and Wright Street, looking northeast.



Plate 43. Covington Levee System within the APE. Levee gate located on south side of Highway Avenue between Western Avenue and Wright Street, looking SW.



Plate 44. Covington Levee System between Bakewell and Main Streets within the APE. Left: Northside of concrete levee wall and gate at east boundary of the APE, looking SE. Right: Southside of concrete levee wall and gate at east boundary of APE, looking NE.



Figure 41. Covington Levee System outside of APE. Left: Southside of concrete levee wall and floodgate along Covington's Public Landing, at the north end of Madison Avenue, looking SE. Right: Westside of earthen levee wall, east of the intersection of East Fifteenth Street and Eastern Avenue, looking SE.



Figure 42. Covington Levee System outside of APE. Left: Westside of earthen levee wall, west of Byrd Street, looking north. Left: Eastside of earthen levee wall and concrete floodgate at the eastern end of East Sixteenth Street, looking NW.



Figure 43. Circa 1930 aerial of Covington prior to the construction of the levee system.¹⁹⁵



Figure 44. Circa 1954 aerial view of the Covington levee system, looking NE.¹⁹⁶ Note the C&O Bridge elevated tracks in the middle of the image.

¹⁹⁵ Image accessed online August 2022 at https://www.nkyviews.com/kenton/kenton_cov_aerials.htm.

¹⁹⁶ Image accessed August 2022 online at https://www.nkyviews.com/kenton/kenton_cov_aerials.htm.



Figure 45. Covington Levee System. Circa 1956 aerial of earthen levee and concrete levee wall and gate between Bakewell and Johnson Streets.¹⁹⁷



Figure 46. Circa 1959 view of the Covington levee system, looking SW.¹⁹⁸ Note the Suspension Bridge at the bottom right corner and the C&O Bridge at the top right.

¹⁹⁷ Image accessed online August 2022 at https://www.nkyviews.com/kenton/kenton_cov_aerials.htm.

¹⁹⁸ Image accessed August 2022 online at https://www.nkyviews.com/kenton/kenton_cov_aerials.htm.



Figure 47. Covington Levee System between Crescent Avenue and Bakewell Street. Left: Historic aerial of Levee circa 1963, looking northwest.¹⁹⁹ Right: Circa 2022 aerial map, looking north.²⁰⁰



Figure 48. Covington Levee System. Aerial comparison showing the levee system has not experienced any significant changes from its original 1950s design. Left: 1955 aerial of Covington's Levee System.²⁰¹ Right: 2019 aerial of Covington's Levee System.²⁰² Note red arrows indicating earthen levee wall locations.

¹⁹⁹ "Di12843," *Faces & Places: Northern Kentucky Photographic Archives*, Kenton County Public Library, <https://facesandplaces.kentonlibrary.org/> (accessed July 22, 2022).

²⁰⁰ Googlemaps.com (accessed July 25, 2022).

²⁰¹ Nationwide Environmental Title Research, 1955, <https://historicaerials.com/viewer> (accessed July 21, 2022).

²⁰² Nationwide Environmental Title Research, 1955, <https://historicaerials.com/viewer> (accessed July 21, 2022).

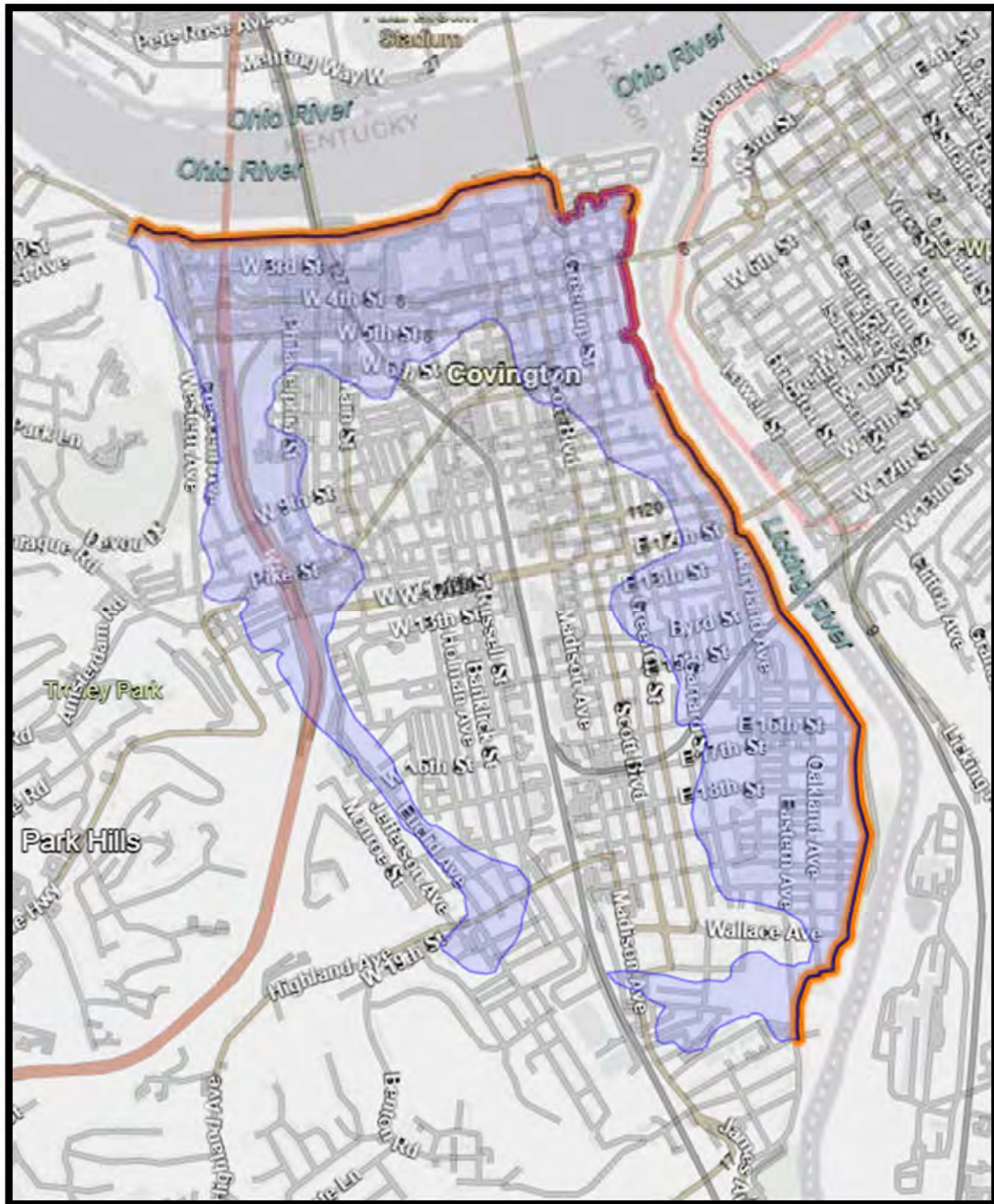


Figure 49. Covington Levee System (USACE 3904060001).²⁰³

NRHP Eligibility: Eligible

The Covington Levee System is recommended *Eligible* for listing in the NRHP under Criterion A in the area of significance of the development and evolution of the Federal Flood Control Act and the associated authorization and construction of U.S. Army Corps of Engineers (USACE) flood control measures along the Ohio River in the early- to mid-twentieth century. The recommended National

²⁰³ National Levee Database, <https://levees.sec.usace.army.mil/#/levees/system/3905000023/segments> (accessed July 22, 2022).

Register boundary generally aligns with the red boundary in **Figure 49** which is taken directly from the USACE National Levee Database. Although it is near the Austinburg and Licking River/Ohio Riverside National Register districts, the Covington Levee System is not a contributing element to any National Register-listed historic districts and is not within the boundaries of a proposed historic district. Only a small portion of the Covington Levee System (3904060001) is within the APE; however, the entire system is recommended eligible since a portion of the system cannot be considered out of context. Devastating floods in the 1930s spurred the establishment of the levee system in the late 1940s to early 1950s to protect lives and property along the Ohio River. The Covington Levee segment retains sufficient integrity to convey its significance at the state level as a critical component of the larger Ohio River flood control system. Its character-defining features include not only the entire system of levees and the floodwalls (including floodgates and gatewells) throughout the Covington area but also any contemporary pumping stations. The Covington Levee System retains its original location and setting adjacent to the Ohio and Licking Rivers as well as its feeling and association; it has experienced few alterations beyond minor repairs and retains integrity of design, materials, and workmanship.



Figure 50. KEC-1068, Covington Levee System, Recommended NRHP Boundary Map

Effects Assessment: No Adverse Effect

This property will experience No Adverse Effect from the proposed project. The parallel bridge and approach proposed adjacent to the existing Brent Spence Bridge will be raised up above the Covington Levee System. As a result, although there will be construction in this area, it does not appear that the construction will directly impact the Covington Levee System. Although a new bridge is proposed which will extend directly over a portion of the levee, the introduction of a new Ohio River bridge would be generally in keeping with the types and uses of structures within the existing viewshed. The proposed new bridge will not impact the historic integrity of the existing Covington Levee System to convey its significance in the area of the development and evolution of the Federal Flood Control Act and the associated authorization and construction of U.S. Army Corps of Engineers (USACE) flood control measures along the Ohio River in the early- to mid-twentieth century.

Field Site 85

The Bavarian Brewing Co. / Kenton County Government Center

KECL-815

Circa 1865

1840 Simon Kenton Way

Covington, KY 41011

39.076652, -84.518181



Plate 45. The Bavarian Brewing Co. / Kenton County Government Center looking north.

Description:

This brewery/municipal building has an original section consisting of a three to six story brick building constructed in 1911 in the Romanesque style with a large six story Modern steel and glass addition constructed circa 2019.²⁰⁴ A brewery was established on Pike Street, originally called Lexington Pike, by Julius Deglow in 1866 on what is now the Bavarian Brewing Co. / Kenton County Government Center. The brewery became known as the Bavarian Brewery Co. in 1870. The business passed through several proprietors before being acquired by William Riedlin with John Meyer in 1882. The brewery underwent considerable expansion in the early 1900s, becoming the largest brewery in Kentucky shortly before World War I and Prohibition. It produced a peak annual production of 216,000 barrels. During prohibition, the company was reorganized as the Wm. Riedlin Beverage Co. to produce non-alcoholic beverages and ice. The new company failed to be profitable, and the Riedlin Co. was dissolved, and the plant equipment sold. Several of the Riedlin heirs retained ownership of the property and after

²⁰⁴ Webvisers Inc., "The Historic and Former Bavarian Brewery," <https://www.bavarianbrewery.org/> (accessed June 30, 2022).

prohibition, the brewery reopened in 1935. The company was under-capitalized and the damage from the Great Flood of 1937 forced the company into foreclosure. Lucia Riedlin Schott's husband Will Schott, and three of his brothers acquired the brewery in 1938. The Schott brothers invested heavily in the company and made the brewery a success by the beginning of World War II.²⁰⁵ The brewery closed in 1966. This property was surveyed as KECL-815 in Summer 1990 and was included in the report by Parsons Brinckerhoff America and Gray & Pape Inc. in 2010.

This property was *Listed* in the NRHP on March 21, 1996, under Criterion A as an important local manufacturer of beer (NRHP No. 96000281). The period of significance is from 1903, when the majority of the built environment was constructed, to 1945, when the plant had been reestablished after prohibition. The brewery was evaluated within the context of Beermaking in Greater Cincinnati and Covington from 1835 to 1945 and thus is locally significant. The boundary justification did not include the Bottling Works (KEC-462), which was built circa 1903 since it was under separate ownership at the time of the nomination. This Bottling Works property (FS 89/KECL-816) is recommended *Eligible* for listing in the NRHP as a contributing resource to the Bavarian Brewery Co. under Criterion A. It was historically associated with the brewery and was built during the brewery's period of significance. It represented the improvements in technology, such as the automatic bottles and crown bottling cap, which made possible the manufacture of beer on a larger scale and to ship it to farther from its point of manufacture.

The original building's prominent section is three stories and faces 12th Street. This building is characterized by brick corbelling, recessed bays, a crenelated parapet wall, round-arched and segmental-arched window openings, a cupola, and a tower. The name "Bavarian Brewery Co." is engraved in stone on the west and south elevations. The origins of the brewery date to circa 1865 and included a variety of additions that have in some cases connected what were originally separate buildings. The original building's roof has various levels of flat and sloped roofs. A crenellated brick parapet tower is located on the northeastern corner, and a glazed cupola with a copper roof is located in the building's center. The 12th street facade measures six bays wide is constructed of painted horizontal brick bands and features brick pilasters, brick corbelling, and a cut stone water table. The windows are metal double hung 6/6 windows with stone sills and several have stone lintels. The northern elevation features painted brick horizontal bands and measures eleven bays wide. Windows are paired or single metal double hung 6/6 with stone sills and stone lintels or brick arches. The entrances to the original building appear to have been modified to windows and the building is accessed through the modern addition. The foundation is cut stone.

The modern addition is attached to the original building at the northern elevation via a glazed curtain wall section. The modern addition was influenced by the Modern International Style and features horizontal bands of concrete with unadorned paired or single windows. The center of the northern façade features vertical bands of concrete culminating in a tower at the sixth story level measuring three

²⁰⁵ IBID.

bays wide. The eastern elevation is stepped-back at the fourth and fifth stories and features paired windows divided by horizontal bands of concrete.



Plate 46. The Bavarian Brewing Co. / Kenton County Government Center, looking south.



Plate 47. The Bavarian Brewing Co. / Kenton County Government Center, looking west.

*NRHP Eligibility: Listed; **Updated Recommendation:** NRHP Boundary Expansion, Contributing/West Side Main Strasse Historic District*

This property retains sufficient historic integrity and significance under Criterion A as an important local manufacturer of beer and should retain its status as listed in the NRHP. The brewery is located in its original location and surrounded by an urban setting. Although there has been a large modern addition, it has been added in a sympathetic way that does not detract from the historic building. The property retains its design, materials, and workmanship in terms of original brick and stone details and fenestration pattern. The windows have been replaced with in kind metal windows that utilize the original lintels and sills. The brewery has the feeling and association of a late nineteenth to early twentieth century brewery.

The original NRHP boundary for KECL-815/Bavarian Brewing Company excluded KECL-816/Bottling Works, built circa 1903, since it was under separate ownership at the time of the nomination. A proposed NRHP boundary expansion is now proposed in order to include the Bottling Works. This Bottling Works (FS 89) is now recommended *Eligible* for listing in the NRHP both individually and as a contributing resource to the Bavarian Brewery Co. under Criterion A. It was historically associated with the brewery and was built during the brewery's period of significance. The Bottling Works represented the improvements in technology, such as the automatic bottles and crown bottling cap, which made possible the manufacture of beer on a larger scale and to ship it to farther from its point of manufacture.

Due to a lack of mapping, the original NRHP boundaries are unclear from the NRHP nomination's text; however, it is clear that the Bottling Works (FS 89) and any other related buildings were excluded as they were under separate ownership. The recommended NRHP boundary excludes the large parking areas to the front and rear of the buildings. Inspection of Sanborn maps indicates that the area to the front, facing Simon Kenton Way, was not historically built upon and therefore unlikely to have been included in the original NRHP boundary.

Additionally, the brewery is recommended as a contributing element to the West Side/Main Strasse Historic District (FS 180/KE-09). This property was constructed within the district's period of significance, retains its historic integrity, and reflects important themes and property types, such as industry and commerce, described therein.

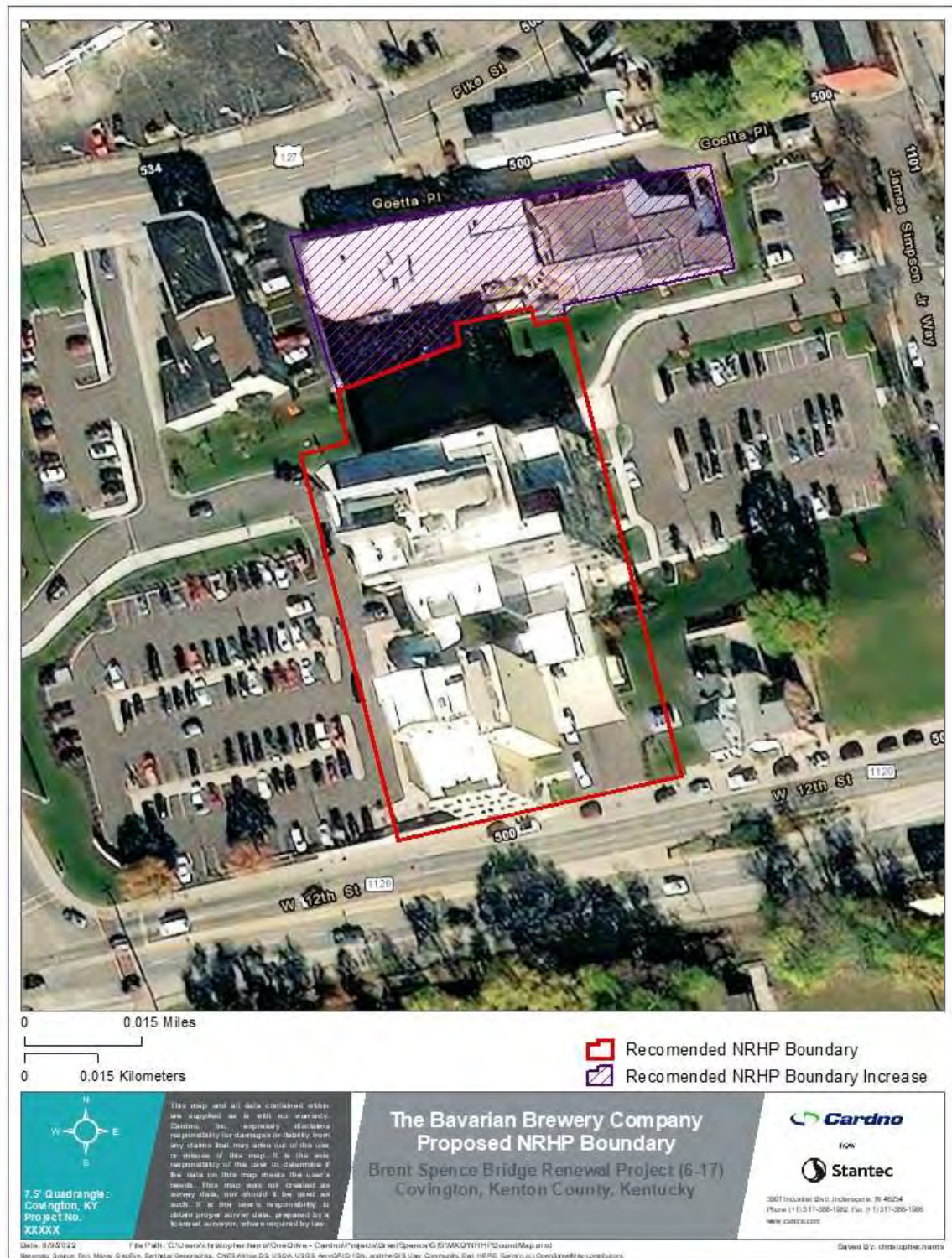


Figure 51. KECL-815, Bavarian Brewing Co./Kenton Co. Government Center, Recommended NRHP Boundary Map

Effects Assessment: No Adverse Effect

The Bavarian Brewing Company, with its proposed modified NRHP boundary decreased to exclude a parking lot to its east and increased to include Glier's Goetta, should not experience negative impacts from the proposed project. The reconstruction of Simon Kenton Way, east of its current location, will place the interstate closer to the proposed modified NRHP boundary of Bavarian Brewing Company through the new right-of-way acquisition as well as the realignment of Simon Kenton Way within the newly acquired right-of-way. Although this is the case, the viewshed of the Bavarian Brewing Company had previously been impacted by the initial construction of the interstate and by the demolition of associated buildings located between the brewery and the interstate between 1993 and 2000. As a result, the reconstruction of Simon Kenton Way and the closer proximity of the interstate should not create cumulative negative impacts on its historic integrity.

Field Site 89

Bavarian Brewing Co. Bottling Works / Glier's Goetta
KEC-462/KECL-816
Circa 1903, Circa 1966
533 Goetta Place
Covington, KY 41011
39.07733, -84.518247



Plate 48. Bavarian Brewing Co. / Glier's Goetta, looking southeast.

Description:

This industrial building was the former bottling works for the Bavarian Brewing Co. (main brewery building surveyed separately as FS 85/KECL-815) and is presently a sausage manufacturing facility for Glier's Goetta of Gliers Meats, Inc.²⁰⁶ This resource is a two-story common bond brick industrial building constructed circa 1903.²⁰⁷ This building is characterized by brick crenellated parapets, a chamfered corner, large windows, and a rusticated stone water table. The building has a flat roof with a corbelled brick cornice topped by terra cotta caps. The original building measures nine bays wide on the main façade (facing north) and is divided by brick pilasters and features brick corbeling at the cornice. The façade's windows are metal measuring 18 lights high by 11 lights wide and are protected by a plexiglass. These windows feature stone sills and lintels. Several of these windows are protected by contemporary

²⁰⁶ Glier's Goetta, "Where it all began," <https://goetta.com/about/history/> (accessed June 28, 2022).

²⁰⁷ *The Kentucky Post and Times-Star*, "Brewers Hustling," March 6, 1903 <https://www.newspapers.com/image/760451848/?terms=Bavarian%20Brewing%20Co.&match=1> (accessed June 29, 2022).

shed-type awnings. Other types of windows include paired wooden 1/1 double hung windows and small 1/1 vinyl windows. The original building's southern elevation measures nine bays wide with paired and tripartite window openings infilled with concrete block and/or brick. The bays are divided by brick pilasters. A large metal gutter system forms the cornice. Basement level entrance doors and garage doors are located on the southern elevation. The rear entrance consists of two panel doors each with two lights and are sheltered under a shed roof sheathed in corrugated metal. Various types of metal equipment are attached to this elevation and rest on small masonry additions. At the eastern elevation are several one story additions constructed circa 1932, 1955, and 1984.²⁰⁸ The eastern elevation consists of a brick one story addition with a flat roof. Another addition is constructed of concrete block and is L-shaped with solid metal doors and a flat corrugated metal porch roof. This property was last surveyed as KEC-462 in April 2010 and recommended eligible by Parsons Brinckerhoff America and Gray & Pape Inc. 2010 under Criterion A. The report did not specify if the property was individually eligible or as a contributing resource to the NRHP listed Bavarian Brewery Co. (KECL-815).²⁰⁹ A SHPO determination was not found.



Plate 49. Bavarian Brewing Co. / Glier's Goetta, looking northeast.

²⁰⁸ Nationwide Environmental Title Research, LLC., 1932, 1955, 1984, <https://historicaerials.com/> (accessed June 29, 2022).

²⁰⁹ Parsons Brinckerhoff America and Gray & Pape, Inc., "Brent Spence Bridge Replacement/Rehabilitation Project," prepared for Kentucky Transportation Cabinet, 2010.



Plate 50. Bavarian Brewing Co. / Glier's Goetta, looking north.

As the former bottling works for the Bavarian Brewing Co. (KECL-815), this building was constructed to allow the company to automatically bottle beer and use the new crown cap technology. This technique allowed the beer to be manufactured at a larger scale and shipped further distances.²¹⁰ After the brewery closed in 1966, the building was purchased by Bob Glier of Glier's Goetta to consolidate production in 1967.²¹¹ Glier's Goetta was founded in 1946 when Bob Glier purchased a small retail butcher shop and began making his own sausages and goetta. Goetta is primarily composed of ground meat, steel cut oats, and seasoning and originated with German settlers who immigrated to the Cincinnati area in the nineteenth century. Glier's Goetta is the largest commercial producer of goetta, producing over one million pounds annually. Approximately 99 percent is consumed in Greater Cincinnati.²¹²

*NRHP Eligibility: Eligible; **Updated Recommendation: Contributing** – Bavarian Brewing Company, Contributing/West Side/Main Strasse Historic District*

This property is recommended *Eligible* for listing in the NRHP under Criterion A as a contributing resource to the NRHP-listed Bavarian Brewing Co. (KECL-815), an important local manufacturer of beer. The nomination's boundary justification did not include the Bottling Works (KECL-815), which was built circa 1903 because it was under separate ownership at the time of the nomination. It was historically

²¹⁰ Leah J. Konicki, National Register of Historic Places Registration Form, The Bavarian Brewing Co., March 21, 1996.

²¹¹ Glier's Goetta, "Where it all Began," <https://goetta.com/about/history/> (accessed July 12, 2022).

²¹² Emily Lloyd, Gotta Get Your Goetta," *Cincy Region*, 2022, <https://cincinnatiusa.com/article/gotta-get-your-goetta> (accessed July 12, 2022).

associated with the brewery and was built during the brewery's period of significance from 1903 to 1945. It represented the improvements in technology, such as the automatic bottles and crown bottling cap, which made possible the manufacture beer on a larger scale and to ship it to farther from its point of manufacture.

Additionally, the bottling works/Glier's Goetta is recommended as a contributing element to the West Side/Main Strasse Historic District (FS 180/KE-09). This property was constructed within the district's period of significance, retains its historic integrity, and reflects important themes and property types, such as industry and commerce, described therein.

Finally, this property is also recommended *individually Eligible* for listing in the NRHP. The property has an association significant to the history of Kenton County, as the largest commercial producer of goetta and is significant under Criterion A. It is not a notable example of an industrial facility. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person's life work and therefore, it is not eligible for the NRHP under Criterion B.

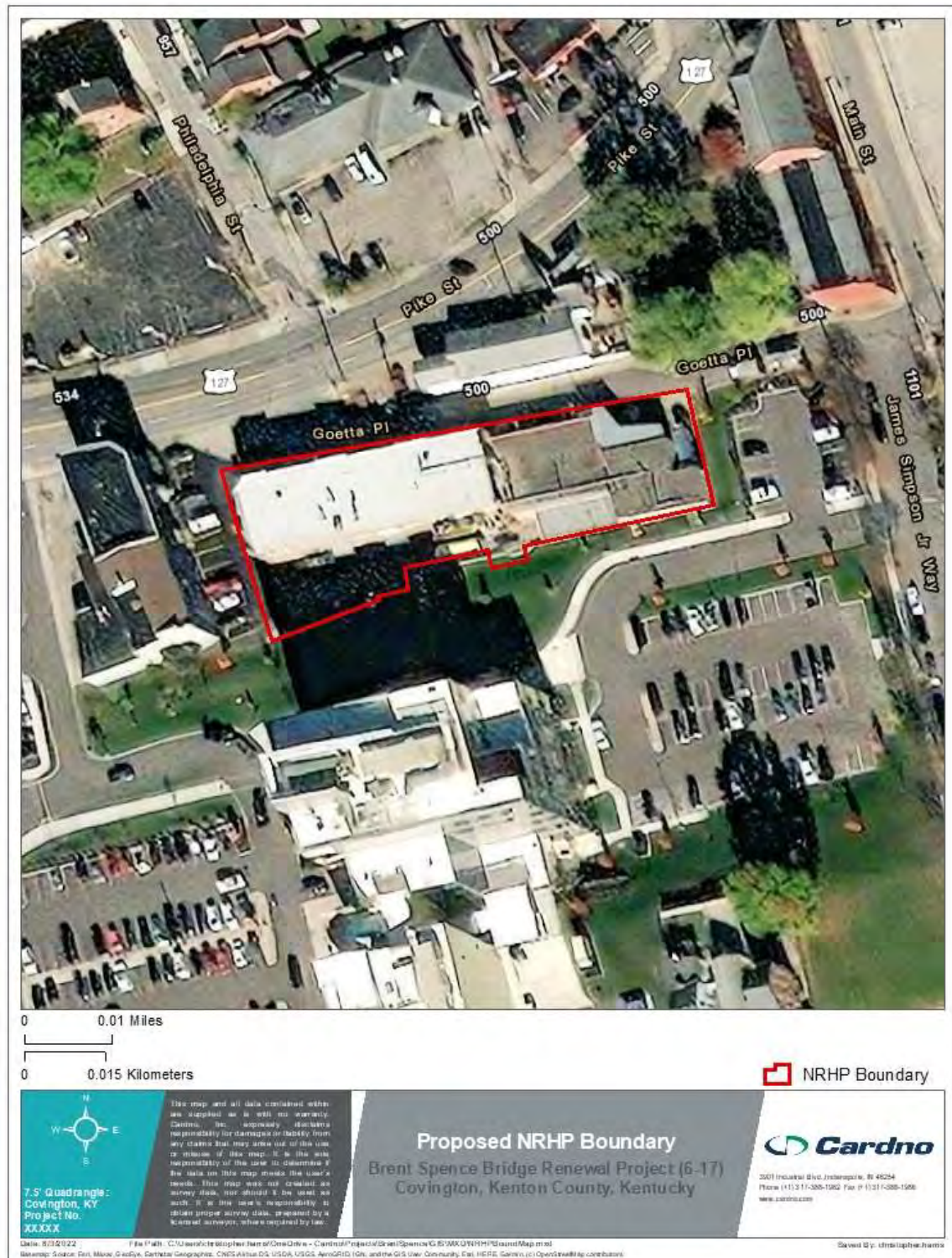


Figure 52. KEC-462, Bavarian Brewing Bottling Works/Glier's Goetta, Recommended NRHP Boundary Map

Effects Assessment: No Adverse Effect

Although the boundary of FS 85/Bavarian Brewing Company is proposed to be expanded to include FS 89/Glier Goetta Factory, the Bavarian Brewing Company, inclusive of the Glier Goetta Factory, should not experience negative impacts from the proposed project as reflected in the narrative for FS 85. The reconstruction of Simon Kenton Way east of its current location will place the interstate closer to the NRHP-listed boundary of the Bavarian Brewing Company through the new right-of-way acquisition as well as the realignment of Simon Kenton Way within the newly acquired right-of-way. Although this is the case, the viewshed of the Bavarian Brewing Company had previously been impacted by the initial construction of the interstate and by the demolition of associated buildings located between the brewery and the interstate between 1993 and 2000. Considered as an *individually* eligible historic property, and as a proposed individual contributing element to the West Side/Main Strasse Historic District, the Glier Goetta Factory, which was originally the Bavarian Brewing Bottling building, should not experience negative impacts from this project. Its individual NRHP boundary, and this portion of the West Side/Main Strasse Historic District boundary, should be far enough east of the intersection that these NRHP boundaries will not be encroached upon. The building has already been visually impacted in the same ways as the rest of the Bavarian Brewing Company. Therefore, the reconstruction of Simon Kenton Way and the closer proximity of the interstate should not create cumulative negative impacts on its historic integrity.

Field Site 93

House

KECL-692

Circa 1880

536 W. 13th Street

Covington, KY 41011

39.075007, -84.518233



Plate 51. House, looking northwest.

Description:

This two-story frame house was constructed circa 1880 in the Italianate style. The dwelling is characterized by its free-standing, two-bay form, bracketed cornice with small windows, and large 2/2 wooden double hung windows. The building has a side gable roof of asphalt shingles, a central chimney, and its exterior is clad in vinyl siding. The fenestration pattern is W-D. The windows are 2/2 wooden double hung windows topped with decorative wood bracketed crowns. The building's main entrance consists of a single, four panel wooden door topped with a transom and decorative wood bracketed crown. On the building's eastern elevation is a side entrance with a small stoop and topped by a flat roof and supported by a single wooden turned post. The foundation is parged stucco. A short, decorative wrought iron fence (93B) borders the concrete patio leading to the front entrance. This property was last surveyed as KECL-692 in the summer of 1990 and its previous survey form did not indicate its NRHP eligibility.



Plate 52. House, looking north.



Plate 53. Fence (93B), looking south.

NRHP Eligibility: Eligible

Although the previously surveyed KHC points are mapped incorrectly in this location, KHC's GIS data indicates that FS 93/536 W. 13th, 530 W. 13th, and 526 W. 13th are contributing elements to an unknown National Register district. There was no point indicated for FS 94/534 W. 13th. There is no evidence of what this district would have been or how it has been impacted over time and additional architectural investigation beyond the scope of this survey would be necessary to determine that.

This property is currently recommended *Eligible* for listing in the NRHP under Criterion C and its NRHP boundary is recommended as its full parcel. It is a notable example of a two-story Italianate house. It displays distinctive characteristics of this type that is unique in the region; therefore, it is eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

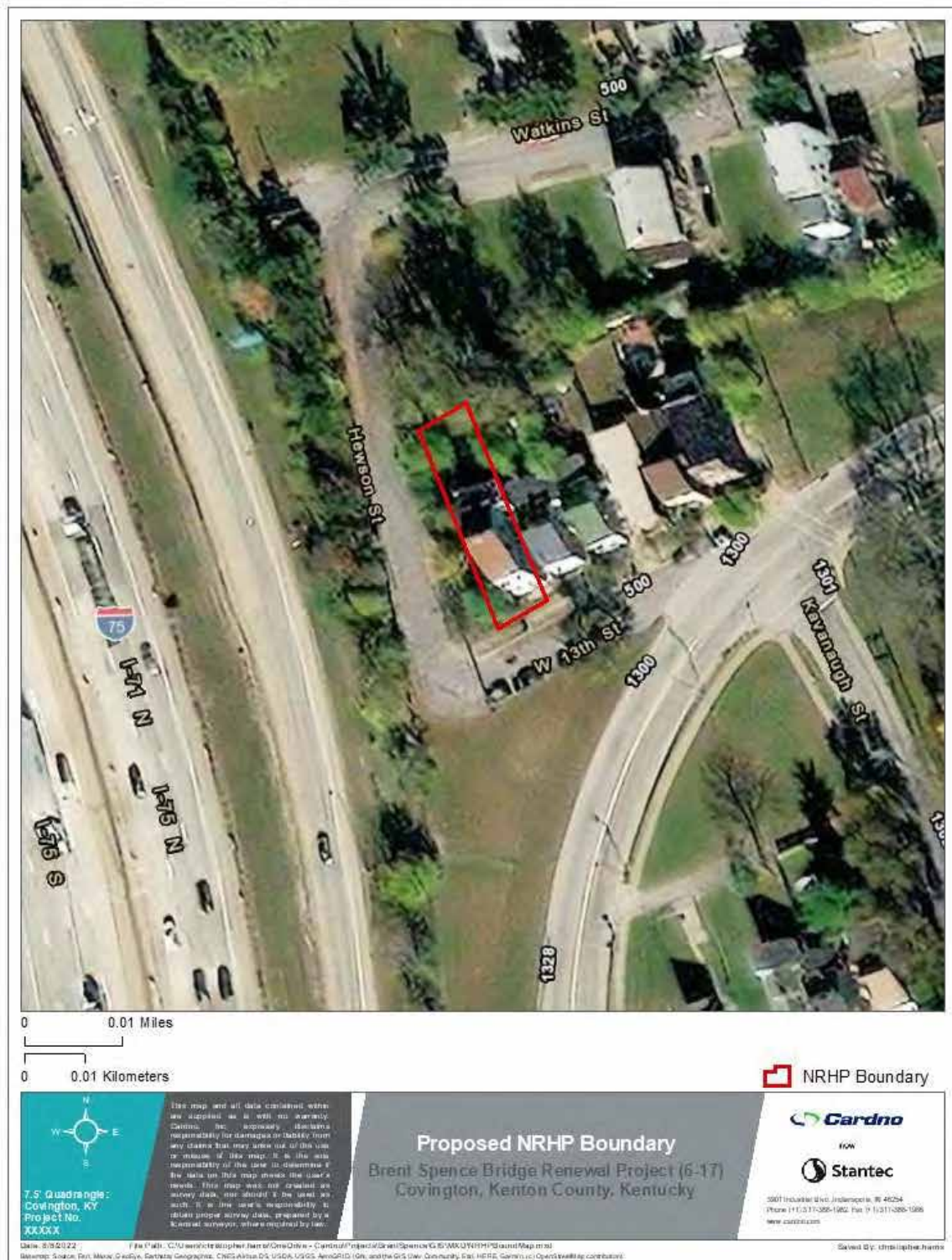


Figure 53. KECL-692, House, Recommended NRHP Boundary Map

Effects Assessment: No Adverse Effect

This property will experience No Adverse Effect from the proposed project. The original construction of I-71/I-75 has already compromised the feeling, setting, and association of this property to some degree, and the interstate is an existing visual intrusion. The proposed new construction will place the interstate somewhat closer to this property and will introduce twenty-two-foot (22') noise walls as well as retaining walls into its viewshed. Although new noise walls will be introduced into its viewshed, these walls should help visually screen the interstate to some degree. According to Ken Sperry and Joey Mosley of HMB Professional Engineers, Inc. (via Gary Valentine of KYTC), "Regarding the look, we are currently working with an aesthetics committee in each municipality to define the look of the hard surfaces (including retaining and noise walls)."²¹³ The house is already somewhat screened from the interstate by a line of trees along its western property line and this assessment assumes at least some of those trees can be preserved. The interstate is visible when looking southwest from the primary elevation of the house. It appears that some road readjustment activities will extend along Hewston Street and a part of the tree line east of Hewston Street along the western parcel boundary of this property, although no new right-of-way is proposed to be acquired directly adjacent to this house and it does not appear that this property or its neighbor will be impacted by the new construction in this area.

²¹³ Email communication from Ken Sperry and Joey Mosley via Gary Valentine to Stephanie Lechert, Stacey D. Hans, Joey Mosley, and Ken Sperry, forwarded to Rachel Kennedy, date of forwarded e-mail August 11, 2022.

Field Site 94

House

KEC-1011

Circa 1890

534 W. 13th St.

Covington, KY 41011

39.075022, -84.518112



Plate 54. House and decorative wrought iron fence (B), looking north.

Description:

This two-story frame house was constructed circa 1890 in the Italianate Cottage style. The dwelling is characterized by its tall, narrow 2/2 windows on the first story and small windows along the cornice line. The side gable roof of asphalt shingles has a central stone chimney. The building is clad in aluminum siding and the fenestration is W-D. The windows are 2/2, 4/4, and 6/6 wooden and aluminum windows. The main entrance is a wooden Craftsman-style door with two-light wood-framed transom. The building sits on a stone foundation. A short, decorative, wrought iron fence (B) surrounds the concrete front walk and small front yard.



Plate 55. House, looking northwest.

NRHP Eligibility: Eligible

Although the previously surveyed KHC points are mapped incorrectly in this location, KHC's GIS data indicates that FS 93/536 W. 13th, 530 W. 13th, and 526 W. 13th are contributing elements to an unknown National Register district. There was no point indicated for FS 94/534 W. 13th. There is no evidence of what this district would have been or how it has been impacted over time and additional architectural investigation beyond the scope of this survey would be necessary to determine that.

This property is currently recommended *Eligible* for listing under Criterion C as a good example of an Italianate Cottage and its NRHP boundary is recommended as its full parcel. Along with its basic form and setback, this house preserves its association with its historic wrought iron property fence, most of its historic wooden windows, Craftsman style front door with transom, interior central brick chimney, and continuous stone foundation.



Figure 54. KEC-1011, House, Recommended NRHP Boundary Map

Effects Assessment: No Adverse Effect

This property will experience No Adverse Effect from the proposed project. The original construction of I-71/I-75 has already compromised the feeling, setting, and association of this property to some degree, and the interstate is an existing visual intrusion. The proposed new construction will place the interstate somewhat closer to this property and will introduce twenty-two-foot (22') noise walls as well as retaining walls into its viewshed. Although new noise walls will be introduced into its viewshed, these walls should help visually screen the interstate to some degree. According to Ken Sperry and Joey Mosley of HMB Professional Engineers, Inc. (via Gary Valentine of KYTC), "Regarding the look, we are currently working with an aesthetics committee in each municipality to define the look of the hard surfaces (including retaining and noise walls)."²¹⁴ The house is already somewhat screened from the interstate by a line of trees along the western property line of adjacent FS 93/KECL-692 and this assessment assumes at least some of those trees can be preserved.. The interstate is visible when looking southwest from the primary elevation of the house. It appears that some road readjustment construction will extend along Hewston Street and a part of the tree line east of Hewston Street along the western parcel boundary of FS 93, although no new right-of-way is proposed to be acquired directly adjacent to this house and it does not appear that this property or its neighbor will be impacted by the new construction in this area.

²¹⁴ Email communication from Ken Sperry and Joey Mosley via Gary Valentine to Stephanie Lechert, Stacey D. Hans, Joey Mosley, and Ken Sperry, forwarded to Rachel Kennedy, date of forwarded e-mail August 11, 2022.

Field Site 150

Tudor Revival House
KEC-458
Circa 1925
45 Rivard Drive
Covington, KY 41011
39.055938, -84.542759



Plate 56. House, façade, looking west.

Description:

This 1.5 story, stone veneer and stucco Tudor Revival house has W-D-WWW fenestration. Windows are 4/4 and 6/6 double hung metal, ten-light steel casements, and a twenty-light picture window. The main roof is a steeply pitched cross gable formed by the main, side gable roof and a steeply pitched, projecting gable roof bay containing a stone veneer façade chimney with square terracotta chimney pots. The steeply pitched, projecting gable roof bay is sided in stone veneer on its lower half, stucco in its upper quarter, and weatherboards in the remaining quarter at the apex of the gable. At the center of the façade is a stone veneer, front gable, projecting entrance bay containing the single leaf front door. Access to the front door is provided by a concrete stoop accessed by both a curving sidewalk from Rivard Drive as well as a stone walk ascending the hill from the below-grade parking area.

On the front slope of the main roof, adjacent to the projecting, front gable bay, is a shed roof dormer containing a window. At the south/left elevation of the house is a wide, stuccoed, exterior brick chimney. A rear, shed roof porch with Tudor style square-sided wooden supports, curved bracing, and railing with diamond cut-outs which appears to be original is also visible from the south elevation. The

rear porch is accessed by what appear to be replacement wooden steps with wooden railing at this side of the building. Faux half-timbered detailing created by stucco and wood painted two different colors (taupe and brown) is visible at the sides of the front and rear shed roof dormers. Stucco throughout the house has a rustic texture with what appear to be intervening stone ledge details. At the north/right elevation of the house is a small, stuccoed, gable roof dormer in the half story along with a picture window in the ground floor, and an asphalt shingle shed roof basement garage with a replacement overhead metal garage door. Visible toward the rear of this elevation is what appears to be a partial rear porch enclosure with a ribbon of windows sheltered by an asphalt shingle shed roof. Beneath this, in the basement level, is a glass block window. The house rests on a stuccoed, continuous basement foundation. According to a *Kentucky Post* newspaper notice from only a few days prior to its sale, this house was sold at the Kenton County Commissioner's Sale on November 10, 1936. Aligning with the Kenton County PVA information for this parcel, this house was described as "Being Lot No. Five (5) Block "B" of Rivard's Hillsdale Subdivision . . . located on Rivard Drive . . ." and including, "Improvements: Two-story stone house, six rooms and bath. Garage in basement."²¹⁵ The house is associated with a garage (B) and a stone retaining wall with steps (C).

The garage (B) is a non-historic, vinyl-sided frame building with an overhead metal garage door. The (C) retaining wall with steps is visible at the northeast elevation of the building and provides stabilization for the hillside as well as manages water flow near the basement garage. This is a mortared, curved, rough-cut fieldstone wall of about eighteen courses with stone steps that rise from this side of the house to the front door.

²¹⁵ "Commissioner's Sale: Kenton County Circuit Court: Home Owners' Loan Corporation, Plaintiff. A.M. Ewing, et al., Defendant," Saturday, November 7, 1936, (Covington: *The Kentucky Post*, 2), Newspapers.com, accessed online July 2022 at <https://www.newspapers.com/image/760590203>.



Plate 57. House, looking north.



Plate 58. House, detail of stucco, ledges, and half-timbered detailing.



Plate 59. Stone retaining wall and steps (C), house, and garage (B) looking southwest.

NRHP Eligibility: Eligible/Individually and Contributing – Proposed Hillsdale Subdivision Historic District

This property was determined individually *Eligible* for listing in the NRHP in 2011 under Criterion C for its Tudor Revival style architecture. This property continues to be recommended individually *Eligible* for listing in the NRHP under Criterion C. In addition, this property is now also recommended *Eligible* as a contributing element to the Hillsdale Historic District. Considered as an individual resource, it is a notable example of a Tudor Revival house and displays character-defining features such as its steeply pitched cross gables; projecting gable roof entrance bay; façade chimney; stone veneer and stucco exterior materials; metal casement windows; rear porch supports; and picturesque orientation on its parcel using setbacks, plantings, the grade, and stone landscaping elements. Although the house has some replacement materials including some windows and the below-grade basement overhead garage door, it has preserved a relatively high level of historic integrity and retains a strong ability to convey its significance as a Tudor Revival style house.

This property is also recommended *Eligible* for listing in the NRHP as a contributing element to the proposed Hillsdale Subdivision Historic District (see FS 231). The Hillsdale Subdivision Historic District, which includes approximately twenty (20) of the existing approximately twenty-eight (28) total Hillsdale parcels, is recommended *Eligible* for listing under Criterion A in the area of significance Community Planning and Development as a good example of the development and growth of a Northern Kentucky subdivision from a settlement era farmstead into a streetcar suburb continuing into an early speculative development and developing as a more traditional post-World War II suburb along Kennedy Road until, finally, its growth east toward developing Fort Wright causes its community center to be symbolically

built on the last large Hillsdale parcel. Hillsdale uniquely encompasses almost every historic type and period of subdivision development within its necessarily wide period of significance of 1850-1956.



Figure 55. KEC-458, House, Recommended NRHP Boundary Map

Effects Assessment: No Adverse Effect

This property will experience No Adverse Effects from the proposed project. Although the proposed new construction activities should take place outside the parcel boundaries of this property and no new right-of-way is proposed to be acquired from this property, the undertaking will place the interstate even closer to this house. The project as proposed places the edge of pavement approximately 70 ft. from the house. Additionally, a section of retaining wall is proposed to be constructed nearby. As a result, the property will experience effects but they should not rise to adverse, due to the nature of the proposed undertaking nearby; however, if these plans are altered to move the highway closer to this property, its effects should be revisited.

Field Site 174

House
KEC-456
Circa 1890
1000 Emery Drive
Covington, KY 41011
39.061329, -84.524824



Plate 60. House, looking west.

Description:

KEC-456 was constructed circa 1890 for Bernard Alf and his family. Alf purchased the land in 1885 and is believed to have built the house before selling the property in 1890. This resource is a 2.5 story front gable dwelling, clad in stucco. The roof is covered with asphalt shingles. The house contains two interior parged chimneys; one is located along the south elevation (side) and one along the north elevation (side). There is a W-D fenestration pattern which contains a fixed wood picture window and a single light door flanked by sidelights. Entry is sheltered by a full-length porch with a shed roof, supported by three large square posts. The second floor contains two 1/1 vinyl windows. A bracketed wood cornice course visually divides the second floor from the half-story attic. The half-story is lit by a tripartite Palladian wood window. A single story addition is located along the west (rear) elevation and appears to provide a secondary entrance to the building. The resource sits on a stone foundation wall.

Located to the northeast of the primary resource is a stone garage (B). The circa 1920 two-car garage is banked into the hillside near the street. The garage is characterized by a castellated stone appearance and has two sets of wooden doors; one of which has been covered in plywood. It is topped with a

modern patio. A recessed entry door, situated within a castellated projecting bay, is centrally located on the garage's front elevation.

KEC-456 was last surveyed in December of 2006 and it was determined individually eligible to be listed on the National Register. The house has been repainted, the porch has been modified, and the windows on the second story were replaced since the survey. A dormer is located on the south elevation.



Plate 61. House, looking west.



Plate 62. Garage (B), looking west.

NRHP Eligibility: Eligible

This property was previously determined *individually Eligible* for listing in the NRHP under Criterion C for its architecture and it continues to be recommended *individually Eligible* for listing in the NRHP under Criterion C as an unusual 2.5 story, stuccoed example of a front gable house in this area. Although some of its windows have been replaced, a railing has been added at the base of the front porch, and the house has experienced a one-story shed roof rear porch addition with a southwest corner porch enclosure, the house has preserved its much of its original form, fenestration (including its original wooden tripartite Palladian style window), stucco exterior, original chimneys, front porch, and bracketed wooden cornice course. This house preserves sufficient historic integrity and significance to convey its architectural significance.

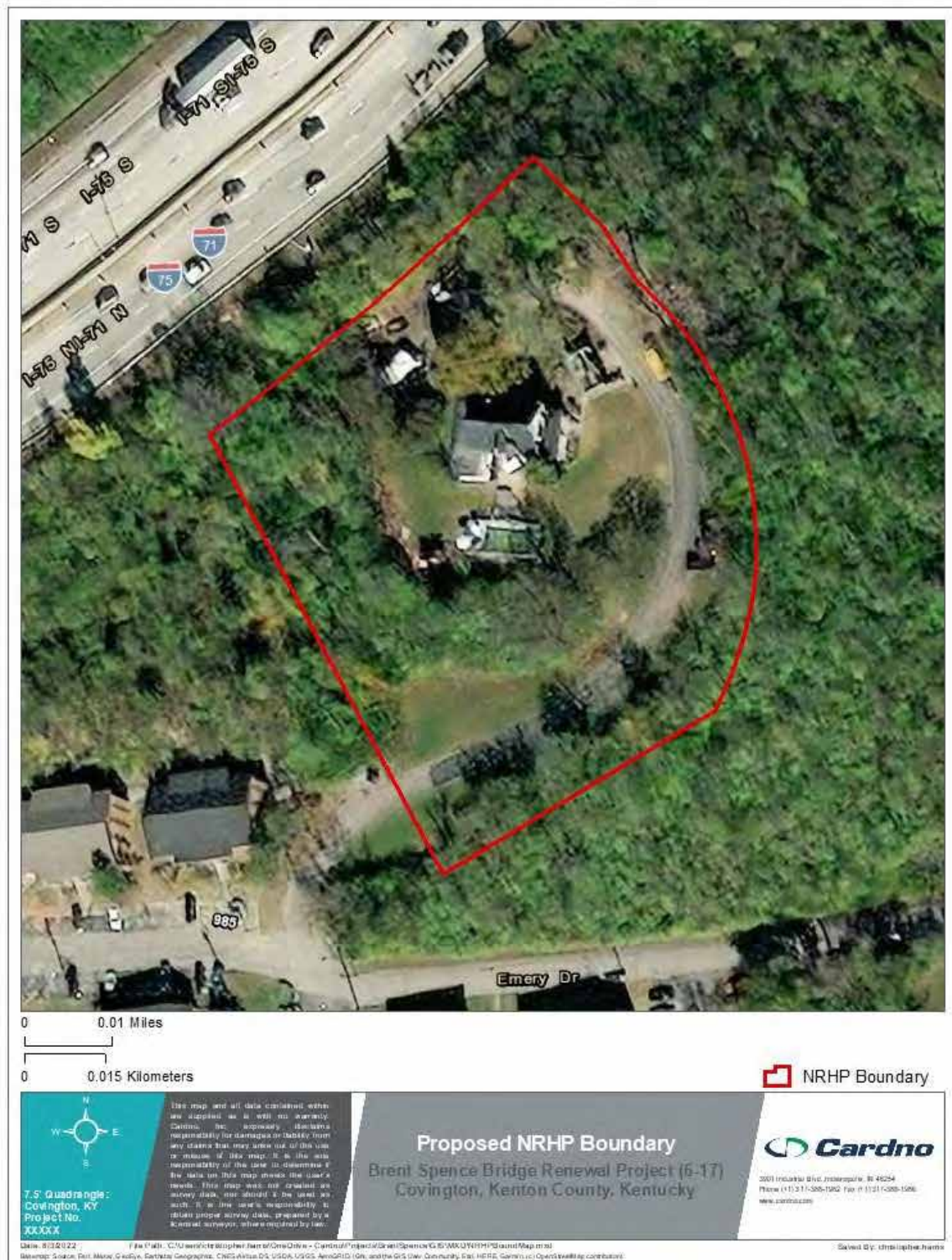


Figure 56. KEC-456, House, Recommended NRHP Boundary Map

Effects Assessment: No Effects

This property will experience No Effects from the proposed project. No new right-of-way is being acquired and the existing right-of-way appears to align with the parcel boundary. Although some new construction is proposed in this area it will be outside the proposed National Register boundary. Additionally, although the paved portion of the interstate is expanding in this area, it is expanding to the northwest of the interstate rather than southeast toward this property. It also appears likely that at least a portion of the existing tree line to the northwest of this property will be preserved.

Field Site 184

Saint Joseph Heights Provincial Center

KE-952

1927

1601 Dixie Highway

Park Hills, KY 41011

39.063918, -84.532346



Plate 63. Sisters of Notre Dame Provincial House and Convent, looking SW.

Description:

The Saint Joseph Heights Provincial Center property consists of four parcels which total forty-five (45) acres located in Park Hills. The property includes the Sisters of Notre Dame (SND) Provincial House and Convent, the SND Cemetery, a park, Notre Dame Academy, three athletic facilities, a maintenance garage, and a playground.

The SND Provincial House and Convent was dedicated on November 13, 1927.²¹⁶ Bishop Frances W. Howard, the fifth Bishop of the Covington Diocese, dedicated the building, referring to it as Saint Joseph Heights.²¹⁷ The SND serve the Roman Catholics of the Diocese of Covington through teaching and practicing medicine. Founded in Belgium in the early nineteenth century by Saint Julie Billiart, the SND served the communities of Germany and Belgium by teaching the poor.²¹⁸ Due to the anti-Catholic

²¹⁶ James Tenkotte and James Claypool, "Sisters of Notre Dame," *The Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 832.

²¹⁷ *Ibid.*

²¹⁸ *Ibid.*

Kulturkampf, a program that took place during 1870s Germany to establish the Protestant faith the country's national religious faith.²¹⁹ As part of this program, Germany's Chancellor, Otto von Bismark, passed a number of anti-Catholic laws in 1875, which "restricted the sisters from wearing their habits, forcing them to give up their schools and other works, and forbade them from accepting new members."²²⁰ Due to these imposed restrictions, the SND immigrated to the United States in 1876 and established themselves in Cleveland, Ohio at the request the city's bishop, Richard Gilmore, becoming the first American providence of the SND.²²¹ Some of the first SND immigrants came to Covington, Kentucky, and taught at a number of German-American schools, operated the Saint Joseph Orphanage in Cold Springs, Kentucky, and established the Notre Dame Convent and Academy at the southeast corner of Fifth and Montgomery Streets.²²²



Figure 57. Left: Circa 1875 photo of SND Convent. Right: Circa 1900 aerial photo of SND Convent and Academy.²²³

By the beginning of the twentieth century, the school became overcrowded and the SND purchased the Park Hills property in 1907, moving into a building at the southeast corner of Dixie Highway and Saint Joseph Lane, and purchased additional surrounding farmland to construct their "new motherhouse," which was to become Saint Joseph Heights.²²⁴ The SND today comprises 2,000 women in service across nineteen countries. In the United States, the SND are organized into four (4) geographical "SND

²¹⁹ David Schroeder, "Our Rich History: Sisters of Notre Dame Fourth of July celebration in Park Hills has deep roots," *Northen Kentucky Tribune*, July 4, 2016. Accessed online July 2022 at <https://www.nkytribune.com/2016/07/our-rich-history-sisters-of-notre-dame-fourth-of-july-celebration-in-park-hills-has-deep-roots/>.

²²⁰ Ibid.

²²¹ James Tenkotte and James Claypool, "Sisters of Notre Dame," 832.

²²² David Schroeder, "Our Rich History: Sisters of Notre Dame Fourth of July celebration in Park Hills has deep roots."

²²³ "Faces and Places," *Kenton County Public Library*. Accessed online July 2022 at <https://facesandplaces.kentonlibrary.org/index.php?q=Notre+Dame>

²²⁴ David Schroeder, "Our Rich History: Sisters of Notre Dame Fourth of July celebration in Park Hills has deep roots."

provinces” – Covington, Kentucky; Chardon, Ohio; Toledo, Ohio; and Thousand Oaks, California.²²⁵ The SND Provincial Center in Covington is home to 116 “professed” members of the SND of the Immaculate Heart of Mary Providence which has the following six sponsored ministries: Julie Learning Center, Notre Dame Academy, Notre Dame Urban Education Center, Saint Charles Community, Saint Claire Regional Medical Center, and Saint Juliet Mission, and the Notre Dame Education Center in Uganda, East Africa.²²⁶

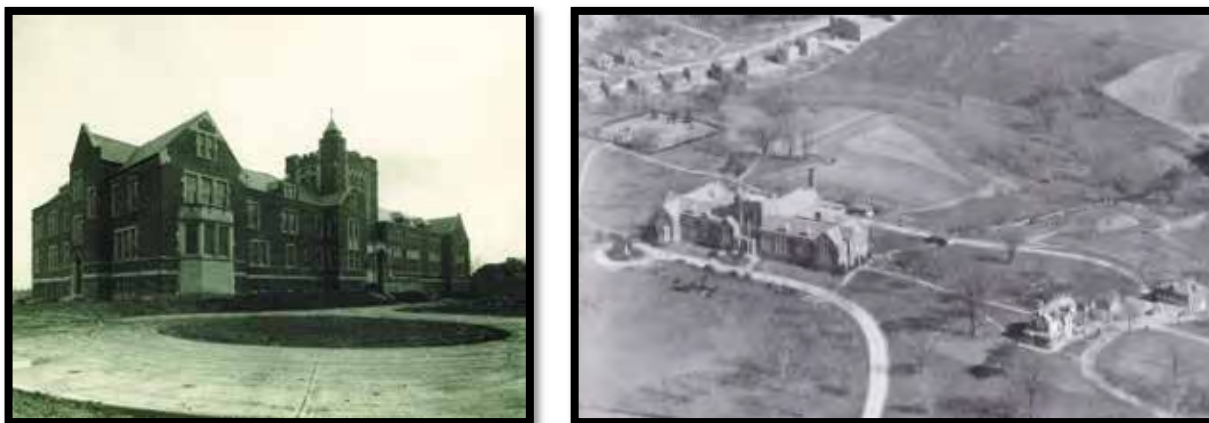


Figure 58. Images of Saint Joseph Heights in Park Hills, Kentucky. Left Sisters of Notre Dame Provincial House circa 1927.²²⁷ Right: Aerial view of Saint Joseph Heights, circa 1930.²²⁸

The 1927 SND Provincial House and Convent is a 2.5 story castellated Collegiate Gothic style building with a raised lower level. The multi-gabled roof with stone coping has a slate and metal covering. The building’s primary character-defining feature is its main entrance, accentuated by a three story square tower, topped with ramparts and an octagonal pinnacle, sandstone gothic arched entry and window surrounds, vertical quoined bands, and stone belt courses. These elements are represented throughout the original, southwestern, section of the building. This building has had two additional building campaigns. The first occurred in 1956 with an addition to the northeast elevation of the original building. This addition is T-plan in form and features a cross-gabled roof. The second building campaign occurred in 1980, with an addition appended to the northeast elevation of the 1956 addition. This section is also T-plan in form and features a flat parapet roof. Both additions are brick veneered and have cast concrete window surrounds and belt courses. The windows on the original 1927 building are a mixture of 1/1 wood and vinyl windows. The windows flanking, and immediately above, the primary entry are multi-light leaded glass casement and sash windows. The entry itself is recessed, features a double entry with arched multi-light sidelights and transoms, and is accessible by two sets of brick steps and a carved stone rail, with piers and open arched balustrade. The northeast wing of the original

²²⁵ “The Sisters of Notre Dame,” The Notre Dame Urban Education Center webpage. Accessed online July 2022 at <https://www.nduec.org/sisters-of-notre-dame/>.

²²⁶ Ibid.

²²⁷ Sisters of Notre Dame of the United States Facebook webpage. Accessed online July 2022 at <https://www.facebook.com/sndky/photos>.

²²⁸ David Schroeder, “Our Rich History: Sisters of Notre Dame Fourth of July celebration in Park Hills has deep roots.”

building features an oversized bay window with a carved stone veneer and, topped with ramparts. The windows on the two addition are 1/1 vinyl sashed. Most of the windows throughout the building have vinyl storm coverings.

Located east of the primary resource is the circa 1922 SND Cemetery (B). The roughly 0.5-acre cemetery contains approximately 220 burials. For 100 years and continuing into 2022, the SND Cemetery has served as the final resting place for the Sisters of Notre Dame themselves. This cemetery is accessible by a pathway lined with plaques marking the stations of the cross. An iron spear fence with a gate is located at the main, northern, cemetery entrance. The low-profile marble headstones uniformly surround a central marble cross, two carved stone markers dedicated to the founding Sisters of Notre Dame, and a single metal plaque, in the form of a book, stating the locations of the cemeteries when other Sisters are buried. According to Findagrave.com, the earliest headstones mark the graves of Sister Mary Susanna Hidding (1848-1922), Sister Mary Vincentia Brix (1838-1923), and Sister Mary Julitta Anhuf (1851-1923). It appears that the cemetery is still in active use as the most recent burial appears to be that of Sister Mary Dolores Giblin (1937-2022) who died on April 23, 2022.²²⁹

The park (C), approximately 4-acres in size, is located to the north and northwest of the Sisters of Notre Dame Cemetery. This landscape feature consists of grassy areas, mature trees, flowerbeds, walking paths, a gazebo with a water feature, a cross, and a statue. There is also signage throughout the parks discussing the native plants and trees upon the grounds.

The southern half of the property contains Notre Dame Academy, athletic facilities, and a maintenance garage. Notre Dame Academy (D) is located on the southernmost section of the property. This all-girls school building was built in 1963 and is operated by the SND. Notre Dame Academy, founded in 1875, was originally a school for K-8th grade children, with an enrollment of seven pupils that year.²³⁰ Notre Dame Academy was originally located in a four story building at the southwest corner of Fifth and Washington Streets in Covington and dedicated on July 26, 1876.²³¹ In 1906, Notre Dame Academy began to offer a high school program.²³² In 1937, so many students were enrolled in its secondary and upper grade programs that the Notre Dame Academy's elementary school program ended to accommodate that growing interest.²³³

²²⁹ "Sisters of Notre Dame Cemetery Memorials" on Find a Grave. Find a Grave: Lehi, 2022. accessed August 2022 at: <https://www.findagrave.com/cemetery/2156771/sisters-of-notre-dame-cemetery>.

²³⁰ James Tenkotte and James Claypool, "Notre Dame Academy," *The Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 681.

²³¹ Ibid.

²³² Ibid.

²³³ Ibid.

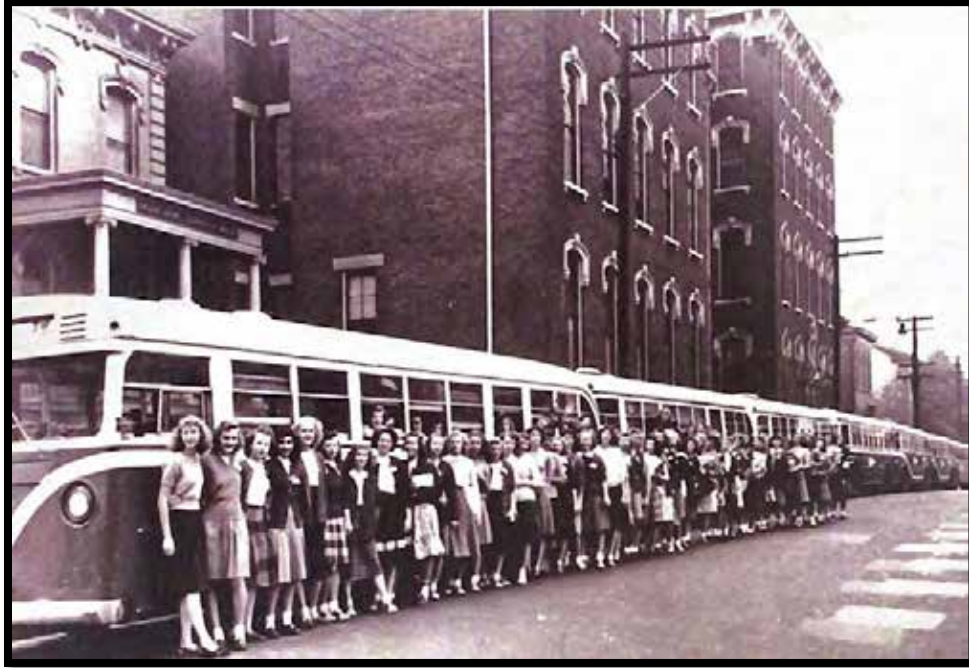


Figure 59. Notre Dame Academy's Fifth Street location, circa 1955.²³⁴

The Fifth Street building proved to be inadequate for the school's needs during the 1950s. A new school, Notre Dame Academy, was completed at the Saint Joseph Heights Provincial Center in 1963 and cost 1.5 million dollars.²³⁵ Due to a continually-growing enrollment, the school began renovations in 1994, which were completed in 1996.²³⁶ In 2007,²³⁷ the Notre Dame Academy was updated and expanded again along with the construction of new athletic facilities and a performing arts center.

²³⁴ Paul Tenkotte, James Claypool, and David Schroeder, *Gateway City: Covington, Kentucky 1815-2015*, (Covington: Clerisy Press, 2015), 219.

²³⁵ *Ibid.*

²³⁶ *Ibid.*

²³⁷ *Ibid.*



Figure 60. Circa 1970 photo of Notre Dame Academy.²³⁸

The brick veneer Notre Dame Academy is composed of two sections. The west section of the building is a single story and features fixed metal windows with metal transoms. This section serves as the main entrance into the school, which features two sets of metal frame doors with transoms, covered by a curved awning, supported by a single metal posts. To the right of this entry is a curved tower feature with an extended roof and cornice. The eastern original section of the school is four stories in height and features three levels of metal hopper metal windows on the façade. The upper level is recessed from the roofline and has 1/1 vinyl windows. The façade is bisected into two sections by a square tower, serves as the entrance to the school’s “Mary Mother of the Word Chapel.” The chapel opened in 2018. Above this chapel, on the original section of the school, are cast concrete reliefs. The school’s east elevation has four rows of four-light windows, the lower panes with hopper openings.

There are three athletic facilities associated with the Notre Dame Academy at the St. Joseph Heights Provincial Center. The first is a softball field (E). This field is first depicted on the 2005 historic aerial, but has since undergone renovations and was rededicated on May 16, 2014. The field features a dirt infield and grass outfield, surrounded by a metal chain link fence.²³⁹ Brick veneered dugouts, with hopped asphalt shingle roofs, are located in foul territory in the infield section of the field, which flank aluminum frame spectator bleachers located behind home plate. The Buenger Sports Complex is a track and soccer athletic facility (F) that first appears in its completed form on the 2012 historic aerial.²⁴⁰ This facility is located to the north of the school and northwest of the softball field. This facility consists of an eight-lane track, which circles a soccer field made of composite turf. Aluminum bleachers, with a press box, and a brick veneer concession and restroom building, with an asphalt shingled hipped roof, are located

²³⁸ “Faces and Places,” *Kenton County Public Library*. Accessed online July 2022 at <https://facesandplaces.kentonlibrary.org/index.php?q=Notre+Dame>.

²³⁹ NETROnline, *Historic Aerials*, (Tempe: Nationwide Environmental Title Research, LLC, 1999-2022). Accessed online July 2022 at <https://www.historicaerials.com/viewer>.

²⁴⁰ *Ibid.*

on the southern side of the facility. A modern aluminum fence encircles the entire facility. West of the school is a tennis facility (G).²⁴¹ The school's tennis courts were original located to the east of a school and were relocated to their current location in 2010.²⁴² This facility has five tennis courts, bisected by sets of aluminum frame bleachers and an aluminum open frame shelter. A tall chain link fence surrounds the entire facility.

Adjacent to the tennis courts, to their northeast, is a maintenance building (H). This building, in its current form, is first depicted on the 2000 historic aerial and serves as the grounds maintenance building.²⁴³ This building is rectangular, has a flat roof and is clad in brick veneer. The east elevation features ten garage bays and two pedestrian doors, and the south elevation has a single garage bay and pedestrian door. The final resource on the property is a playground (I), located to the west of the SND Provincial House and Convent. This resource is primarily used by the Julie Learning Center preschool program and is surrounded by a chain link fence. This resource first appears on the 2008 historic aerial.²⁴⁴



Plate 64. SND Provincial House and Convent. Façade of original 1927 building, looking east.

²⁴¹ Ibid.

²⁴² Ibid.

²⁴³ Ibid.

²⁴⁴ Ibid.



Plate 65. SND Provincial House and Convent. Façade of original 1927 building, looking SW.



Plate 66. SND Provincial House and Convent. Left: Entry and tower of original 1927 building, looking SE. Right: East wing of original 1927 building with bay window, looking south.



Plate 67. SND Provincial House and Convent. Entry detail of original 1927 building, looking south.



Plate 68. SND Provincial House and Convent. Façade of 1956 wing addition (right foreground) and façade of 1980 wing addition (left background), looking east.



Plate 69. SND Provincial House and Convent. South elevation, looking north, and Buenger Sports Complex Track and Soccer Field (F)



Plate 70. Saint Joseph Heights Provincial Center. SND Cemetery (B), looking south. Left: SND Cemetery overview photo. Right: SND Cemetery central memorial and plaque.



Plate 71. Saint Joseph Heights Provincial Center. Park (C). Left: “Emblem of Christ the Hope of the World Cross,” looking SE. Right: Statue of Mary, looking east.



Plate 72. Saint Joseph Heights Provincial Center. Park (C). Left: Gazebo with water feature, looking SW. Right. Park overview photo, looking SE.



Plate 73. Notre Dame Academy (D), looking south.



Plate 74. Notre Dame Academy (D). Left: West wing entrance, looking SE. Right South elevation of west wing gymnasium, looking NE.



Plate 75. Notre Dame Academy (D). Left: Façade of east wing, looking SE. Right: East elevation of east wing, looking, west.



Plate 76. Notre Dame Academy Athletic Facilities. Left: Softball field (E), looking north. Right: Buenger Sports Complex (F) track and soccer field (F), looking NW.



Plate 77. Notre Dame Academy Athletic Facilities. Left: Buenger Sports Complex (F) bathroom and concessions, looking NW. Right: Tennis courts (G), looking SW.



Plate 78. Left: Saint Joseph Heights Provincial Center and Notre Dame Academy grounds maintenance building (G), looking west. Right: Playground, looking SW.

NRHP Eligibility: Eligible

The 1927 SND Provincial House and Convent and associated circa 1922 SND Cemetery (B), within the Saint Joseph Heights Provincial Center, are recommended *individually Eligible* for listing in the NRHP under Criteria Consideration A for Religious Properties under Criterion A and Criterion C. Under Criteria Consideration A/Criterion A, the SND Provincial House and Convent is eligible in the area of significance Education for its ability to convey the broad impact the SND made toward the expansion of Catholic education in the Covington area. Through its ever-increasing enrollment numbers, need to continually update its offerings and, of course, its need to move to a new location at the St. Joseph Heights Provincial Center in Park Hills due to overcrowding in its original location, it is apparent that the SND filled an educational void for families of other German and Catholic settlers of Covington. The SND mission focused on the education of children with a special focus on the education of girls. In fact, the website for the Notre Dame Urban Education Center, one of the SND ministries, includes the statement that the SND mission includes “. . . promoting Catholic education, especially for women, and for children in urban and mission schools, and by fostering the fullness of life, especially for people who are poor, sick and aged.”²⁴⁵ As such, the associated, circa 1922 SND Cemetery (B) which includes the graves of hundreds of the Sisters of Notre Dame who taught religious education for over 100 years in Covington is also significant as a contributing element. Although the SND included other types of ministries such as medical and social missions, Catholic education was the primary focus.

Under Criteria Consideration A/Criterion C, the SND Provincial House and Convent is significant at the local level in the area of significance of Architecture as a good example of Collegiate Gothic architecture in the Covington area. The building retains its character-defining main entrance, accentuated by a three story square tower, topped with ramparts and an octagonal pinnacle, sandstone gothic arched entry and window surrounds, vertical quoined bands, and stone belt courses. Although the SND Provincial House and Convent building has experienced a mid-twentieth century addition and a late twentieth-century addition, those additions were sympathetic to the original portion of the building, using similar height,

²⁴⁵ The Sisters of Notre Dame,” The Notre Dame Urban Education Center webpage. Accessed online July 2022 at <https://www.nduec.org/sisters-of-notre-dame/>.

massing, and materials – alluding to the original portion of the building without mimicking or overwhelming it. Additionally, the SND cemetery (B) is significant due to its association with the cultural landscape of the SND Provincial House and Convent as well as the fact that the SND Cemetery itself is a designed landscape, reinforcing Catholic tradition through the spiritual pilgrimage of the stations of the cross. The later park, Notre Dame Academy, sports fields, and maintenance building are outside the National Register boundary developed for the SND Provincial House and Convent.

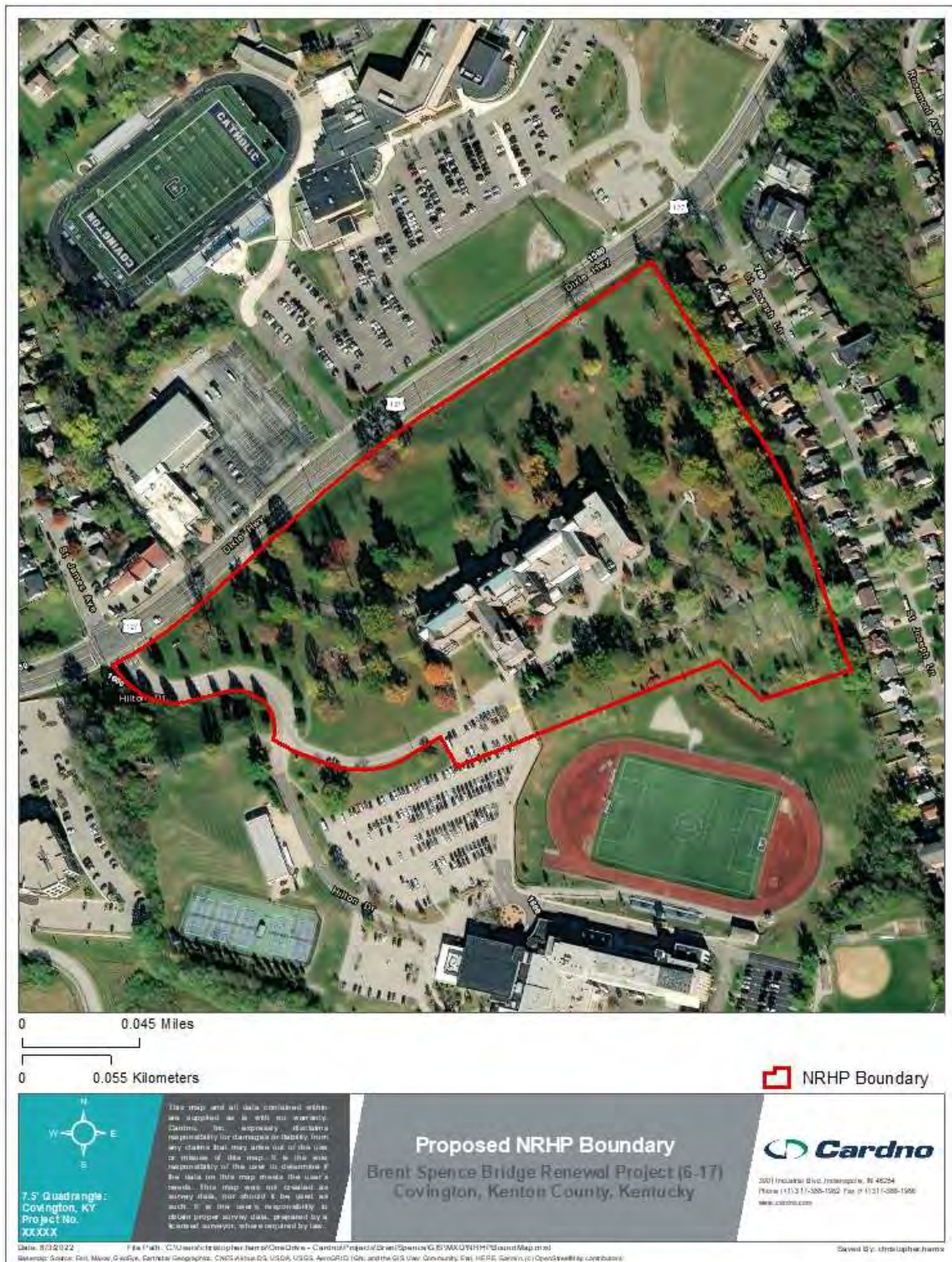


Figure 61. KE-952, Sisters of Notre Dame Convent and Cemetery, Recommended NRHP Boundary Map.

Effects Assessment: No Effects

This SND Provincial House and Convent will experience No Effects from this project. The paved portion of the interstate will be generally closer to the SND Provincial House and Convent and there is a proposed strip taking for new right-of-way along the southwestern property boundary of the St. Joseph Heights Provincial Center. That taking, as well as the limits of construction; however, will be outside the proposed NRHP boundary for the National Register-eligible SND Provincial House and Convent, which is smaller than the St. Joseph Heights Provincial Center property boundary, by approximately 600 feet. Although sections of retaining wall are also proposed to be built along the interstate in the area of this strip taking, due to intervening buildings and vegetation, these proposed retaining walls should have negligible visibility from the 1927 SND Provincial House and Convent as well as the contributing circa 1922 SND Cemetery.

Field Site 233

Clay Wade Bailey Bridge
KEC-1075 (formerly KEC-107)
1972-1974
Covington, KY 41011
39.091335, -84.51939



Plate 79. 1929 C & O Railroad Bridge (Left) and 1974 Clay Wade Bailey Bridge (Right)

Description:

Both the extant 1929 C & O Railroad Bridge and the adjacent but separate Clay Wade Bailey Bridge have 675 foot central channel crossing spans. In October 1970, the original 1888 C & O Railroad Bridge, then a highway bridge, was removed to make way for the Clay Wade Bailey Bridge (059B00049N), which opened to traffic on October 23, 1974 - later than expected due to labor and fuel shortages during that time. The cantilevered Warren through truss bridge was ultimately financed entirely with federal funds although it was initially projected to be financed with eighty (80) percent federal and twenty (20) percent state funds.²⁴⁶ The 1929 C & O Railroad Bridge and the adjacent 1974 Clay Wade Bailey Bridge share two piers.²⁴⁷

²⁴⁶ Sherman Cahal, "Clay Wade Bailey Bridge," Bridges and Tunnels website, accessed online July 2022 at: <http://bridgestunnels.com/location/clay-wade-bailey-bridge/>.

²⁴⁷ Parsons Brinkerhoff America in Association with Gray & Pape, Inc., *Brent Spence Bridge Replacement/Rehabilitation Project, History/Architecture Report, Kenton County, Kentucky, ODOT PID No. 75119, HAM-71/75-0.00/0.22, KYTC Project Item No. 6-17*, April 2010; "Clay Wade Bailey Bridge," Bridges and Tunnels, accessed July 5, 2022, [Clay Wade Bailey Bridge - Bridges and Tunnels \(bridgestunnels.com\)](http://bridgestunnels.com).

The Clay Wade Bailey Bridge was designed in 1970 by Hazelet + Erdal, Inc. Based on a 1978 Commonwealth of Kentucky Department of Highways report of bridge conditions, work began on the bridge January 4, 1972, and was completed September 25, 1974. The bolted and welded steel bridge superstructure was erected by the American Division of U.S. Steel in Ambridge, Pennsylvania. The four main piers were built by Traylor Brothers of Evansville, Indiana, and the concrete work and approach piers were constructed by George E. Detzel Company of Cincinnati, Ohio.²⁴⁸ The Clay Wade Bailey Bridge consists of twenty-three (23) spans including seven (7) Kentucky spans, three (3) main spans, and thirteen (13) Ohio spans. Pier 8 and Pier 9 are masonry C & O Railroad Bridge piers built in 1887 and modified in 1927 and then in 1974. The main span of the bridge consists of a 1,475 foot, three-span cantilever truss with two 400 foot anchor spans flanking a 675 foot main span. Nearly all the steel truss members are welded “H” type members.²⁴⁹

In summer 2000, a new exit ramp on the Clay Wade Bailey Bridge’s northern approach was built to connect with the top deck of the new bi-level 2nd Street, built as the eastbound feeder road for the reconstructed Fort Washington Way. Ramp construction destroyed the former staircase from the bridge’s pedestrian walkway to Pete Rose Way, but a pedestrian walkway was then built along the new 2nd Street ramp.²⁵⁰ In 2004, the Clay Wade Bailey Bridge was rehabilitated for a cost of \$2.5 million which included replacing deck joints and installing a new driving surface.²⁵¹ At the time of a June 2022 inspection, per KYTC’s Bridge Data Miner ArcGIS Hub, the Clay Wade Bailey Bridge was still listed as “structurally deficient.”²⁵²

Governor Nunn named the new 1974 bridge the Clay Wade Bailey Bridge in honor of Clay Wade Bailey, iconic forty-six (46)-year veteran Frankfort reporter for numerous Kentucky newspapers who started his career in 1927 as assistant to the chief of the *Courier-Journal*’s Frankfort bureau. Clay Wade Bailey, who was born in Elliott County, Kentucky, and became an orphan at a young age, apparently had a photographic memory, and could even read documents upside down. Clay Wade Bailey knew most people in state government and called “. . . at least 150 people each morning, before making his rounds of Frankfort offices, where he exchanged stories and gathered the latest gossip.”²⁵³ Clay Wade Bailey later became manager of the Frankfort bureau of the United Press as well as correspondent for the *Lexington Herald* and the *Lexington Leader*. Clay Wade Bailey was named the state director of publicity

²⁴⁸ S. Cummings, P.E., Senior Inspecting Engineer, *Bridge Inspection Report: The Clay Wade Bailey Bridge, US25/US42 Over the Ohio River at Covington, Kenton County, Kentucky, Bridge Number MP 059-0025-013.47 (B49)*, Commonwealth of Kentucky Transportation Cabinet, Hazelet + Erdal, Inc., September 1993, 2-5.

²⁴⁹ Ibid.

²⁵⁰ Jake Mecklenborg, “C&O Bridge/Clay Wade Bailey Bridge,” Cincinnati-Transit.net, accessed online July 2022 at: <https://cincinnati-transit.net/claywade.html>.

²⁵¹ Sherman Cahal, “Clay Wade Bailey Bridge,” Bridges and Tunnels website, accessed online July 2022 at: <http://bridgestunnels.com/location/clay-wade-bailey-bridge/>.

²⁵² Bridge ID 059B00049N, Clay Wade Bailey Bridge, KYTC Bridge Data Miner, ArcGIS Hub, KYTC GIS, Kentucky Transportation Cabinet, accessed online July 2022 at: <https://hub.arcgis.com/maps/KYTC::kytc-bridge-data-miner-1/explore?location=37.751907%2C-85.821200%2C6.68>.

²⁵³ Jack Wessling, “Bailey, Clay Wade,” in *Northern Kentucky Encyclopedia*.

in 1948 and then returned to newspaper work in later years. Clay Wade Bailey died February 19, 1974.²⁵⁴



Plate 80. Clay Wade Bailey Bridge with 1929 C & O Railroad Bridge in background, looking west

²⁵⁴ University of Kentucky College of Communication and Information, School of Journalism and Media, “Clay Wade Bailey” in 1981 Kentucky Journalism Hall of Fame, accessed online July 2022 at: https://ci.uky.edu/jam/hall_of_fame/1981/clay-wade-bailey-0.



Plate 81. Detail of shared bridge pier showing depth markings, looking west



Figure 62. Clay Wade Bailey Bridge with 1929 C & O Railroad Bridge in background, 2018²⁵⁵

NRHP Eligibility: Eligible

The Clay Wade Bailey Bridge was last surveyed along with the previously documented C & O Railroad Bridge as KEC-107 in December 2006 and both bridges together appear to have been determined *individually Eligible* although the Clay Wade Bailey was only thirty-four (34) years of age at that time. On its most recent survey form, the authors combined both the C & O Railroad Bridge and the Clay Wade Bailey Bridge thus resulting in both bridges being assigned the same KHC number; however, for the purposes of this report, the two bridges are being documented separately. Based on coordination with the KHC survey coordinator, the C & O Railroad Bridge will retain KHRI number KEC-107 and the Clay

²⁵⁵ Photo by Geoff McKim, 2018, Bridgehunter.com: Historic and Notable Bridges of the U.S., accessed July 2022 online at: <https://bridgehunter.com/oh/hamilton/59B00049N/>.

Wade Bailey has been assigned its new KHRI number KEC-1075. The Clay Wade Bailey Bridge continues to be recommended *individually Eligible* for listing in the NRHP under Criterion A and C. In 2022, the Clay Wade Bailey Bridge, which was started in 1972, has just reached the fifty (50) year age threshold for NRHP consideration. Under Criterion A, the Clay Wade Bailey Bridge is eligible for listing in the NRHP under the area of significance Transportation as an important vehicular transportation link carrying U.S. Route 42 and U.S. Route 127 across the Ohio River from Kentucky into Ohio. Although its materials and workmanship have experienced some impacts due to maintenance, rehabilitation, and the new exit ramp construction, its integrity of location, design, setting, feeling, and association remain unaffected. As a result, it retains sufficient historic integrity to convey its significance. Under Criterion C, the Clay Wade Bailey Bridge is a good example of a cantilevered steel through truss bridge with the same 675-foot central channel crossing span as the adjacent C & O Railroad Bridge with which it shares two piers.



Figure 63. KEC-1075, Clay Wade Bailey Bridge, Recommended NRHP Boundary Map

Effects Assessment: No Adverse Effect

This bridge will experience No Adverse Effects from this project. Although the proposed new bridge which will parallel the existing Brent Spence Bridge will likely be somewhat visible from the Clay Wade Bailey Bridge, it will be screened somewhat from the new bridge by both the Brent Spence Bridge and the adjacent C & O Railroad Bridge. The introduction of a new Ohio River bridge would be generally in keeping with the types and uses of structures within the existing viewshed and, unless the new bridge is significantly different from the existing, it is not likely to create negative impacts to the historic integrity of the existing bridges. The proposed new bridge will not impact the historic integrity of the existing Clay Wade Bailey Bridge to convey its significance in the areas of Engineering and Transportation.

5

FIELD SITE DESCRIPTIONS AND RESULTS INTRODUCTION RECOMMENDED ELIGIBLE AND NRHP-LISTED HISTORIC DISTRICTS

The following seven (7) properties are listed in or recommended eligible for the NRHP, as a result of this study. As noted in Section 4, the historic districts include the related contributing and noncontributing properties nested numerically within their description by the historic district’s field site number. A description, NRHP evaluation, and effects determination is included within each historic district’s narrative. This section includes FS 180/KE-09, FS 181/KE-010, FS 182/KE-011, FS 183/KE-012, FS 185/KE-07/KE-08, FS 230/KEFM-150, and FS 231/KE-013. The associated contributing and noncontributing properties have been organized under each district. These properties can be quickly viewed in **Table 7** below.

Table 7. NRHP Eligible or Listed Historic Districts

FS/KHC No.	District Name	NRHP Status	Associated FS
FS 180/KE-09	West Side/Main Strasse Historic District	Listed	85-90, 191-196, and 221-229
FS 181/KE-010	Lewisburg Historic District	Listed	205-215
FS 182/ KE-011	Old Ft. Mitchell Historic District	Listed	N/A
FS 183/ KE-012	Beechwood Historic District	Listed	N/A
FS 185/KE-07 AND KE-08	Elberta Apartments Historic District	Eligible	102-105, and 232
FS 230/KEFM-150	Highland Cemetery Historic District	Listed	N/A
FS 231/KE-013	Hillsdale Subdivision Historic District	Eligible	148-150

Field Site 180

West Side/Main Strasse Historic District

KE-09 (KECL-815, KECL-816, KECL-626, KEC-1013, KECL-918, KECL-864, KEC-1069 – KEC-1074, & KEC-1023 - KEC-1031)²⁵⁶

Circa 1840s – Circa 1945

Covington, KY

39.081931, -84.517424



Plate 82. West Side/Main Strasse Historic District, Looking Southeast at the 600 block of Main Street from West Sixth Street.

Description:

The West Side/Main Strasse Historic District (83003650), hereafter known as West Side, was listed in the NHRP in 1983 as an important example of a mid-to-late nineteenth century urban residential and commercial neighborhood. The neighborhood contains a large number of Northern Kentucky Townhouses (brick and frame), Italianate commercial buildings, and Shotgun houses. The Areas of Significance include: Architecture, Commerce, Education, Industry, Religion, and Social/Humanitarian, although the nomination form discusses Ethnic Heritage, which relates to the influx of German immigrants into the area by the mid-nineteenth century. The district's NRHP boundaries can be viewed below in **Figure 64** and roughly include a large area from West 6th Street to the C&O Railroad corridor, south to Pike Street, west to near Philadelphia Street and Goebel Park. The Period of Significance (POS) dates from the mid-1840s to 1900; however, significant stability of population and architecture is

²⁵⁶ Several of these properties have duplicate survey numbers. Only one was chosen to represent that property in the header.

documented in the NRHP form up to World War II. For instance, the St. Aloysius School and John G. Carlisle Elementary School are discussed as important examples of “1930s architectural modernity;” however these properties would not have been of sufficient age for listing at that time. The author also notes a very stable neighborhood environment, both architecturally and socially, up the Second World War, after which many middle-class residents left the city for suburban living. The district is characterized by narrow lot sizes and an urban appearance. Setback from the street is minimal in most instances.



Plate 83. View of 300 block of W. Sixth Street, looking NE.



Plate 84. 800 block of Main Street, looking NW.



Plate 85. Intersection of West 9th and Bakewell Streets, looking SE.



Plate 86. Looking west in W. 6th Street Park, toward Main Street. Note the Goose Girl Fountain (ca. 1980) in the background

*West Side/Main Strasse NRHP Eligibility: Listed; **Updated Recommendation:** POS Extension, NRHP Boundary Expansion*

The West Side/Main Strasse Historic District retains sufficient historic integrity to continue to preserve its status as listed in NRHP under Criterion A and C. That said, Cardno recommends that the POS for the district be extended to 1945, given the area's growth and development up to that time. Future historic property identification within the district should concentrate on developing a clear and updated list of contributing and non-contributing properties. Finally, when Goebel Park and the Clock Tower (KEC-1033) comes of age in 2029, it should be evaluated for inclusion in this district. The following field sites were surveyed as part of this project that were in the original NRHP boundaries: KEC-1023 (FS 221) through KEC-1031 (FS 229).

Cardno also recommends that the southeastern boundary of the West Side/Main Strasse Historic District be expanded slightly further southeast to encompass an area generally bounded by Pike Street at the north, West 12th Street at the south, Simon Kenton Way at the west, and James Simpson Jr. Way/Main Street at the east. Closest to Pike Street, the expanded boundary would include the Bavarian Brewery Bottling Works/KEC-462/KECL-816 (FS 89) and KECL-864 (FS 90) as contributing elements. Additionally, the main Bavarian Brewery Building KECL-815 (FS 85), would also be included as a contributing element to the district with its expanded boundary. These commercial and industrial properties reflect building types which had already been identified as contributing elements along the larger streets within the district.

Just south of the Bavarian Brewery and fronting on West 12th Street, the expanded boundary would also include the following late nineteenth/early twentieth century houses as recommended contributing elements: KEC-626/KECL-626 (FS 86), KEC-1013 (FS 87), and KECL-918 (FS 88). These houses were all built within the original POS for the West Side/Main Strasse Historic District and further research may confirm the theory that early residents of these houses had an association with the brewery. These houses, and other houses of the residents of the working and middle classes that predominate in the West Side/Main Strasse Historic District, were primarily Italianate and Victorian one-to three-story frame or brick buildings.

Along the original eastern boundary of the West Side/Main Strasse Historic District, this report recommends a handful of smaller expansions to include of the elevated C&O Railroad Bridges as contributing elements; the elevation of the railroad in the 1920s allowed for continued growth within Covington's west side and for better connectivity to the downtown area east of the railroad. These smaller expansions would include KEC-1069 (FS 191) through KEC-1074 (FS 196) as recommended contributing elements. The recommended areas of expansion of the West Side/Main Strasse Historic District NRHP boundary are justified by the fact that the additional buildings and structures within these expansion areas share the period of significance for the district as well as its architectural styles, historic development patterns, uses, and character-defining features.

Effects Assessment: No Adverse Effect

The West Side/Main Strasse Historic District will experience No Adverse Effect from this project. The original construction of I-71/I-75 has already compromised the feeling, setting, and association of the West Side/Main Strasse Historic District to some degree, and the interstate is an existing visual intrusion. The proposed new construction will place the interstate somewhat closer to the district although no new right-of-way needs to be acquired; however, a portion of Goebel Park and Kenny Shields Parks, both of which are directly outside the district boundaries, will be acquired for right-of-way to expand the paved portion of the interstate to the east. Although the interstate may become slightly more visible from the western boundary of the West Side/Main Strasse Historic District, this change to the viewshed should not result in a negative impact to the qualities for which the district was listed in the NRHP.

Although this is the case, the undertaking has been redesigned by KYTC to avoid direct effects to the closest contributing elements in the district along Dalton Street. As a result of this redesign, no right-of-way will be acquired from the rear lots of the contributing elements to the district along Dalton Street (FS 221-FS 229) and the rear (west side) of the Dalton Street parcels closest to the interstate are screened by trees. The proposed construction activities will all occur outside the NRHP boundary of the West Side/Main Strasse Historic District in the Dalton Street area.

The reconstruction of Simon Kenton Way east of its current location appears to be far enough west that it should not directly or indirectly impact the houses at FS 86/KEC-626/KECL-626, FS 87/ KEC-1013, or FS 88/ KECL-918, which are now recommended as contributing elements to the West Side/Main Strasse Historic District. Additionally, the contributing C & O Railroad bridges (FS 191-196) should not experience a negative visual impact due to intervening distance, buildings, and vegetation. These bridges should also not be directly impacted in any other way by the proposed construction activities.

The contributing Bavarian Brewing Company (FS 85), with its proposed modified NRHP boundary decreased to exclude a modern parking lot to its east and increased to include contributing Glier's Goetta (FS 89), should not experience negative impacts from the proposed project. The same is true for adjacent, contributing FS 90 (KECL-864) which is even further east. The reconstruction of Simon Kenton Way, east of its current location, will place the interstate closer to the proposed modified NRHP boundary of Bavarian Brewing Company through the new right-of-way acquisition as well as the realignment of Simon Kenton Way within the newly acquired right-of-way. Although this is the case, the viewshed of the Bavarian Brewing Company had previously been impacted by the initial construction of the interstate and by the demolition of associated buildings located between the brewery and the interstate between 1993 and 2000. As a result, the reconstruction of Simon Kenton Way and the closer proximity of the interstate should not create cumulative negative impacts on its historic integrity.

West Side/Main Strasse Contributing and Recommended Contributing Properties

The following field sites are recommended contributing elements to the West Side/Main Strasse Historic District with its recommended expanded NRHP boundary. These include FS 85/KECL-815,²⁵⁷ FS 86/KEC-626/KECL-626, FS 87/ KEC-1013, FS 88/KECL-918, FS 89/KECL-816,²⁵⁸ FS 90/KECL-864, FS 191-196/KEC-1069 – KEC-1074, and FS 221-229/KEC-1023 through KEC-1031. Effects for these properties are discussed in the associated historic district's effects assessment.

²⁵⁷ Also individually listed in the NRHP.

²⁵⁸ Also recommended individually eligible for listing in the NRHP and a contributing element to Bavarian Brewing Co. (KECL-815).

Field Site 86

House

KEC-626/KECL-626

Circa 1880

514 W. 12th St.

Covington, KY 41011

39.076451, -84.517561



Plate 87. House, looking northwest.

Description:

This 1.5 story brick Italianate Cottage house was constructed circa 1880. This house is characterized by a prominent cornice with small glass block windows and scroll brackets. The roof is an asphalt shingle side gable roof with cornice returns. The fenestration pattern is W-D. Windows are 1/1 double hung vinyl replacement with decorative bracketed hoods and stone sills. The circa mid twentieth century door is topped by a decorative bracketed hood, an aluminum awning, and rests on a stone stoop. The house has a rusticated stone foundation. A wrought iron fence (B) is located in front of the dwelling. This property was last surveyed as KEC-626 in Summer 1990 and the NRHP status was Undetermined. This property was included in the report by Parsons Brinckerhoff America and Gray & Pape Inc. in 2010 as KECL-626 and recommended as eligible. KEC and KECL-626 are the same property but only KEC-626 is mapped in the correct location by the KHC/SHPO.



Plate 88. House and Fence (B), looking northeast.

NRHP Eligibility: Eligible/ Contributing- West Side/Main Strasse Historic District (proposed expansion)

This property was recommended *individually Eligible* for listing in the NRHP in 2010. The present study disagrees with the prior finding of *individual* eligibility due to a lack of individual significance. Its significance is best expressed as a property type with relation to the surrounding district and its period of significance. Therefore, this house is recommended contributing to the West Side Historic District's (FS 180/KE-09) boundary expansion. The dwelling's integrity of location, design, feeling, and association remain intact and as a result permit the property to help tell the important story of the West Side Historic District, as it developed in the mid-to-late nineteenth and early twentieth centuries. Its integrity of materials/workmanship has been compromised, due to the introduction of vinyl windows and a modern front door and circa 1960 metal awning; however, other elements of material integrity are maintained such as the stone foundation wall, brick exterior walls, decorative cornice brackets and windows, and the associated cast-iron fence.

Field Site 87

House

KEC-1013

Circa 1910

512 W. 12th St.

Covington, KY 41011

39.076464, -84.517469



Plate 89. House, looking northwest.

Description:

This one story, circa 1910 frame Shotgun house is clad in vinyl siding. The house is characterized by an asphalt shingle side gable roof with an overhanging eave with cornice. The fenestration pattern is W-D. Windows consist of vinyl 1/1 replacement with faux 6/6 muntins. The main façade's window is flanked by faux shutters. The main entry door is a contemporary four panel door with a half-moon light, and rests on a stone stoop. The foundation is cut stone block. A wrought iron fence with a gate (B) built by the Cincinnati Iron Fence Co. surrounds the lawn in front of the house.



Plate 90. House, looking northeast.



Plate 91. Fence (B), looking north.

NRHP Eligibility: Eligible/Contributing – West Side/Main Strasse (proposed expansion)

This property is recommended *Eligible* for listing in the NRHP as a contributing element to the West Side/Main Strasse Historic District (FS 180/KE-09) with its proposed expanded boundaries. The dwelling's integrity of location, setting, design, feeling, and association remain intact and as a result permit the property to help tell the important story of the West Side Historic District, as it developed in the mid-to-late nineteenth and early twentieth centuries. Its integrity of materials/workmanship has been compromised, due to the introduction of vinyl siding and windows; however, other elements of material integrity are maintained such as the stone foundation wall and the cast-iron fence.

Field Site 88

House

KECL-918

Circa 1875

510 W. 12th St.

Covington, KY 41011

39.076478, -84.517399



Plate 92. House, looking northwest.

Description:

This 2.5 story, circa 1875 two-bay side-passage house was constructed of brick laid in a common bond pattern. This house is characterized by a prominent cornice featuring transom windows, scroll brackets, and decorative panels. The house is capped by an asphalt shingle side gable roof with an interior brick chimney in the western gable end. The fenestration pattern is W-D. Windows are 2/2 double hung vinyl sash and 1/1 double hung vinyl sash windows with stone lintels and sills. The main entrance is topped by a transom, set on a single stone stoop, and is protected by a metal security door. The foundation is cut stone. A small section of a wrought iron fence (B) is placed near the main entrance. This property was last surveyed as KECL-918 but the form was unable to be located by SHPO staff.



Plate 93. House, looking northeast.



Plate 94. Fence (B), looking northwest.

NRHP Eligibility: Eligible/Contributing – West Side/Main Strasse Historic District

This side passage house is recommended *Eligible* for listing in the NRHP as a contributing element to the West Side/Main Strasse Historic District with its proposed expanded boundaries. The dwelling's integrity of location, setting, design, feeling, and association remain intact and as a result permit the property to help tell the important story of the West Side Historic District, as it developed in the mid-to-late nineteenth and early twentieth centuries. Its integrity of materials/workmanship has been slightly compromised, due to the introduction of vinyl sash windows; however, other elements of material integrity are maintained such as the brick exterior walls, cornice details, stone foundation wall and the cast-iron fence.

Field Site 90

Contributing to West Side/Main Strasse

Commercial Building
KECL-864
Circa 1920
511-519 Pike Street
Covington, KY 41011
39.077568, -84.517898



Plate 95. Commercial Building, looking southeast.

Description:

This two-story resource, consisting of two connected buildings, was built of decorative concrete block circa 1920. The buildings are characterized by their large, 20-light windows and decorative concrete block exterior. The original building is one bay wide by two bays deep and features a door on the northern elevation. The roof is a gable front of asphalt shingles. Windows are paired or single vinyl 1/1 double hung windows, but several are boarded with plywood. The foundation is concrete. A large two story addition is placed at the rear of the original building. It features a gable front asphalt shingle roof. There are 20-light and 12-light metal windows with masonry lintels and sills. All of the windows are boarded up along the southeastern elevation. A one-bay garage entrance door is present at the western gable end elevation. The foundation is concrete block. Another small concrete block addition is located at the rear eastern side of the building. This property was last surveyed as KECL-864 in the summer of 1990. The NRHP eligibility status was Undetermined.



Plate 96. Commercial Building, looking northeast.

NRHP Eligibility: Recommended Contributing – West Side/Main Strasse Historic District (expanded)

The present study recommends that this property is contributing to the revised NRHP boundaries recommended to the West Side/Main Strasse Historic District (FS 180/KE-09). As a good example of a 1920s commercial building, built during the period of significance for the West Side/Main Strasse Historic District, this building retains sufficient historic integrity and significance to be a contributing element to this district.

Research was undertaken to investigate whether this building possessed sufficient historic significance and integrity for individual listing in the NRHP. This building was first depicted on the 1939 Sanborn Fire Insurance map as a paint business.²⁵⁹ It is suspected it was a paint manufacturing business with a commercial space to sell its product. There are no listings for a paint business on the 1931-1932 Williams' Directory for Covington, Kentucky.²⁶⁰ Since research identified only that this building housed a paint manufacturing business but did not identify any outstanding individual significance either due to its association with a significant historic trend/event or person, this building is not recommended individually eligible for listing in the NRHP under Criterion A or Criterion B. Additionally, it is not a notable example of an early to mid-twentieth-century commercial/manufacturing property in Covington or Kenton County. It does not display the distinctive characteristics of a type of building design that is rare or innovative in the region or state, nor is it an example of an important common type; therefore, it is not eligible for the NRHP under Criterion C.

²⁵⁹Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 26.

²⁶⁰The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1931-1932).

Field Site 191

Contributing to West Side/Main Strasse

Bridge No. 059R00622N

KEC-1069

Circa 1920

West Sixth Street

Covington, KY 41011

39.084144, -84.515617



Plate 97. CSX Railroad Bridge No. 059R00622N, looking west.

Description:

This circa 1920 Moderne styled railroad bridge, originally owned by the Chesapeake and Ohio Railroad, and currently owned by the CSX Railroad, crosses over West Sixth Street, and serves as the eastern boundary for the Westside-Main Strasse NRHP District (KE-09/NRHP ID No. 83003650). This bridge was built using reinforced concrete piers with wide-wing abutments. A centrally located concrete pier supports the bridge and divides the east and west automobile lanes on Sixth Street. The bridge is approximately 48 feet wide with a two-span reinforced concrete slab decking. A metal railing surrounds the tracks along the bridge.

The railroad was elevated in the early twentieth century to alleviate traffic and safety issues that originally occurred due to the tracks being at street grade. Deterioration and efflorescence has occurred on the bridge's side walls and in some locations, the steel rebar is exposed. The foundation of a former switch tower is present on the east side of the tracks, south of Sixth Street. This foundation is of poured concrete and has a single door opening, which is currently boarded up.



Plate 98. CSX Railroad Bridge No. 059R00622N, looking east.



Plate 99. CSX Railroad Bridge No. 059R00622N. Left: Sets of tracks on the bridge, looking NW. Right: Foundation of former switching tower.



Figure 65. Circa 1900-postcard image of Sixth Street Park depicting the railroad prior it being elevated.²⁶¹

NRHP Eligibility: Eligible/Contributing - West Side/Main Strasse Historic District

This property is recommended as contributing to the West Side/Main Strasse Historic District (KEC-09/FS 180). This recommendation is further discussed in the NRHP evaluation section of the report. As a circa 1920 Moderne style C & O Railroad bridge, this bridge maintains sufficient historic integrity and significance to be a contributing element to the West Side/Main Strasse Historic District.

²⁶¹ Northern Kentucky Views, "Covington Parks i.e, Other than Devou Park," *Northern Kentucky Views*. Accessed online July 2022 at [Parks of Covington, Kentucky \(nkyviews.com\)](https://www.nkyviews.com/).

Field Site 192

Contributing to West Side/Main Strasse

Bridge No. 059R00626N

KEC-1070

Circa 1920

Pershing Avenue

Covington, KY 41011

39.083614, -84.514937



Plate 100. CSX Railroad Bridge No. 059R00626N, looking NE.

Description:

This circa 1920 Moderne styled railroad bridge, originally owned by the Chesapeake and Ohio Railroad, and currently owned by the CSX Railroad, crosses over Pershing Avenue, and serves as the eastern boundary for the Westside-Main Strasse NRHP District (KE-09/NRHP ID No. 83003650). This bridge was built using reinforced concrete piers with wide-wing abutments. A pair of concrete piers support the interior of the bridge, which divides the east and west bound automobile lanes of Pershing Avenue from the adjacent pedestrian sidewalks. Approximately 39 feet wide with a three-span reinforced concrete slab decking, this bridge contains three sets of railroad tracks. Metal railings surround the tracks along the bridge. The railroad was elevated in the early twentieth century to alleviate traffic and safety issues, which occurred due to the tracks being at street grade. Deterioration and efflorescence has occurred on the bridge's end walls and in some locations, the steel rebar is exposed. Overgrown vegetation is also present on the bridge.



Plate 101. CSX Railroad Bridge No. 059R00626N, looking west.



Plate 102. CSX Railroad Bridge No. 059R00626N. Sets of tracks over bridge, looking south.

NRHP Eligibility: Eligible/Contributing - West Side/Main Strasse Historic District

This property is recommended as contributing to the West Side/Main Strasse Historic District (KEC-09/FS 180). This recommendation is further discussed in the NRHP evaluation section of the report. As a circa 1920 Moderne style C & O Railroad bridge, this bridge maintains sufficient historic integrity and significance to be a contributing element to the West Side/Main Strasse Historic District.

Field Site 193

Contributing to West Side/Main Strasse

Bridge No. 059R00627N

KEC-1071

Circa 1920

West Seventh Street

Covington, KY 41011

39.08345, -84.51471



Plate 103. CSX Railroad Bridge No. 059R00627N, looking NE.

Description:

This circa 1920 Moderne railroad bridge, originally owned by the Chesapeake and Ohio Railroad, and currently owned by the CSX Railroad, crosses over West Seventh Street, and serves as the eastern boundary for the Westside-Main Strasse NRHP District (KE-09/NRHP ID No. 83003650). This bridge was built using reinforced concrete piers with wide-wing abutments. Three concrete piers support the interior of the bridge, which divides the east and west bound automobile lanes of West Seventh Street from the adjacent pedestrian sidewalks. Approximately 52 feet wide with a four-span reinforced concrete slab decking, this bridge contains three sets of railroad tracks. A closed concrete railing surrounds the tracks. This railroad was elevated in the early twentieth century to alleviate traffic and safety issues, which occurred due to the tracks being at street grade. Deterioration and efflorescence has occurred on the bridge's end walls, and in some locations, the steel rebar is exposed. Overgrown vegetation is also present.



Plate 104. CSX Railroad Bridge No. 059R00627N, looking SW.

NRHP Eligibility: Eligible/Contributing - West Side/Main Strasse Historic District

This property is recommended as contributing to the West Side/Main Strasse Historic District (KEC-09/FS 180). This recommendation is further discussed in the NRHP evaluation section of the report. As a circa 1920 Moderne style C & O Railroad bridge, this bridge maintains sufficient historic integrity and significance to be a contributing element to the West Side/Main Strasse Historic District.

Field Site 194

Contributing to West Side/Main Strasse

Bridge No. 059R00617N

KEC-1072

Circa 1930

West Pike Street

Covington, KY 41011

39.082537, -84.513217



Plate 105. CSX Railroad Bridge No. 059R00617N, looking NE

Description:

This circa 1930 Moderne railroad bridge, originally owned by the Chesapeake and Ohio Railroad, and currently owned by the CSX Railroad, crosses over West Pike Street, and serves as the eastern boundary for the Westside-Main Strasse NRHP District (KE-09/NRHP ID No. 83003650). This three span bridge was built using riveted support steel trusses with exterior reinforced concrete piers and reinforced concrete piers with wide-wing abutments on the north section. The steel trusses and concrete piers separate the east and west bound automobile lanes of West Pike Street from the adjacent pedestrian sidewalks. Approximately 130 feet wide, the continuous steel girders support a reinforced concrete slab decking, this bridge contains two sets of railroad tracks. A closed concrete rail rails surrounds the tracks. The railroad was elevated in the early twentieth century to alleviate traffic and safety issues, which occurred due to the tracks being at street grade. Deterioration, more severe in some locations, has occurred on the bridge's support trusses and girders in some locations. The northern section of this bridge contains the remnants of the steps, which lead to the upper passenger loading and unloading sections at track

level. This section displays deterioration in the form of exposed rebar and overgrown vegetation. Adjacent to this bridge and tracks to the north, is the former C&O Railroad passenger depot, which is now used as office space. This building was not surveyed as part of this project because it is not in the APE. C&O Passenger train service at this location concluded in the 1971 due to the growing trend in automobile transportation.²⁶²



Plate 106. CSX Railroad Bridge No. 059R00617N, looking south.

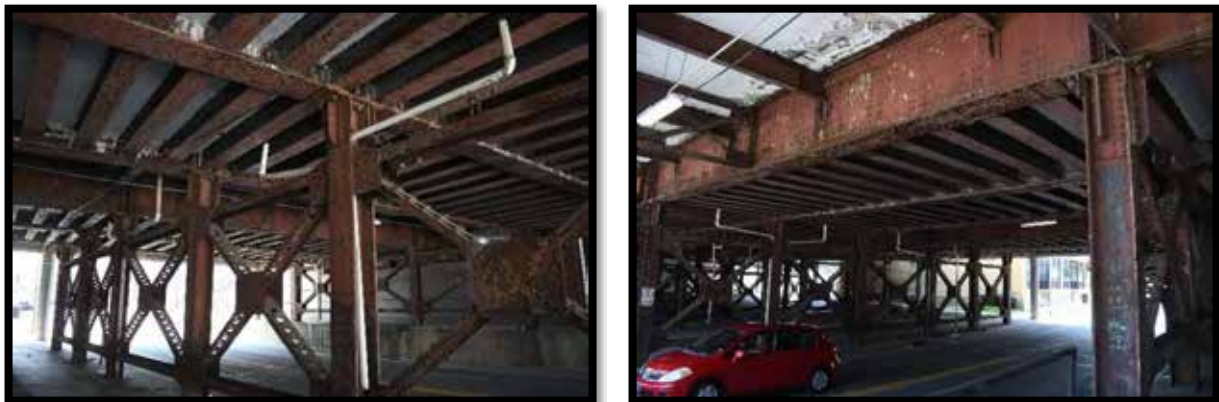


Plate 107. CSX Railroad Bridge No. 059R00617N. Representative examples of steel trusses, girders, and decking. Left: looking south. Right: looking west.

²⁶² Paul Tenkotte and James Claypool, "Chesapeake and Ohio Railroad," *the Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 175.



Plate 108. CSX Railroad Bridge No. 059R00617N. Former rail passenger access from West Pike Street. Left: West Pike Street passenger access from NE side of the bridge. Right: West Pike Street passenger access from SW side of the bridge.



Plate 109. Former circa 1930 C&O Railroad Passenger Depot north of the railroad tracks, looking south.

NRHP Eligibility: Eligible/Contributing - West Side/Main Strasse Historic District

This property is recommended as contributing to the West Side/Main Strasse Historic District (KEC-09/FS 180). This recommendation is further discussed in the NRHP evaluation section of the report. As a circa 1930 Moderne style C & O Railroad bridge, this bridge maintains sufficient historic integrity and significance to be a contributing element to the West Side/Main Strasse Historic District.

Field Site 195

Contributing to West Side/Main Strasse

Bridge No. 059R00620N

KEC-1073

Circa 1930

Russell Avenue

Covington, KY 41011

39.082318, -84.512908



Plate 110. CSX Railroad Bridge No. 059R00620N, looking south.

Description:

This circa 1930 Moderne railroad bridge, originally owned by the Chesapeake and Ohio Railroad, and currently owned by the CSX Railroad, crosses over Russell Avenue, and serves as the eastern boundary for the Westside-Main Strasse NRHP District (KE-09/NRHP ID No. 83003650). This three span bridge was built using riveted support steel trusses in the northern section and reinforced concrete piers with wide wing abutments on the south section. The steel trusses and concrete piers separate the east and west bound automobile lanes of Russell Avenue from the adjacent pedestrian sidewalks. Approximately 130 feet wide, the continuous steel girders support a reinforced concrete slab decking. This bridge contains two sets of railroad tracks. The girders are attached to the trusses by the use of large steel hinges. A closed concrete railing surrounds the tracks. The railroad was elevated in the early twentieth century to alleviate traffic and safety issues, which occurred due to the tracks being at street grade. Deterioration, more severe in some locations, has occurred on the bridge's support trusses and girders in some locations.



Plate 111. CSX Railroad Bridge No. 059R00620N, looking north.

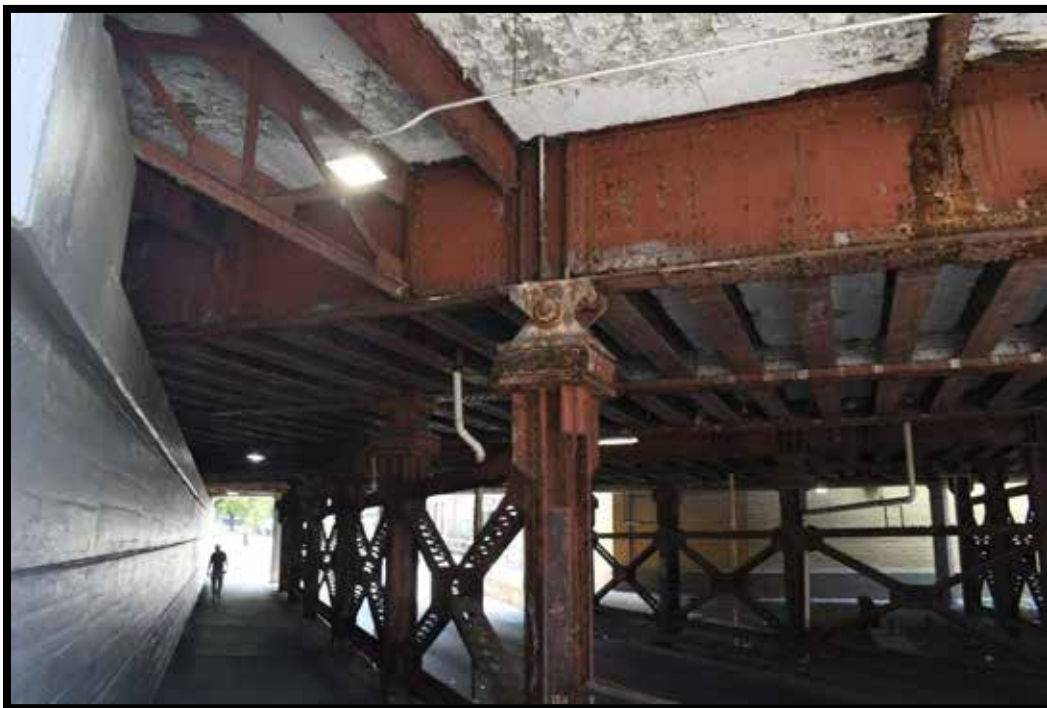


Plate 112. CSX Railroad Bridge No. 059R00620N. Representative examples of steel trusses, girders, and decking, looking south. Note the steel hinges used to connect the girders to the trusses.

NRHP Eligibility: Eligible/Contributing - West Side/Main Strasse Historic District

This property is recommended as contributing to the West Side/Main Strasse Historic District (KEC-09/FS 180). This recommendation is further discussed in the NRHP evaluation section of the report. As a circa 1930 Moderne style C & O Railroad bridge, this bridge maintains sufficient historic integrity and significance to be a contributing element to the West Side/Main Strasse Historic District.

Field Site 196

Contributing to West Side/Main Strasse

Bridge No. 059R00621N

KEC-1074

Circa 1930

West Eight Street

Covington, KY 41011

39.081856, -84.512314



Plate 113. CSX Railroad Bridge No. 059R00621N, looking east.

Description:

This circa 1930 Moderne railroad bridge, originally owned by the Chesapeake and Ohio Railroad, and currently owned by the CSX Railroad, crosses over West Eight Street, and serves as the eastern boundary for the Westside-Main Strasse NRHP District (KE-09/NRHP ID No. 83003650). This four span bridge was built using reinforced concrete pier abutments. A central concrete pier separates the east and westbound automobile lanes of West Eighth Street and two piers separate adjacent pedestrian sidewalks from the roadway. Approximately 64 feet wide, the concrete piers support a reinforced concrete slab decking. This bridge contains two sets of railroad tracks. Metal tube railings run parallel to the tracks. The railroad was elevated in the early twentieth century to alleviate traffic and safety issues, which occurred due to the tracks being at street grade. Deterioration, more severe in some locations, has occurred on the bridge's support piers and girders in some locations.



Plate 114. CSX Railroad Bridge No. 059R00621N, looking west.

NRHP Eligibility: Eligible/Contributing - West Side/Main Strasse Historic District

This property is recommended as contributing to the West Side/Main Strasse Historic District (KEC-09/FS 180). This recommendation is further discussed in the NRHP evaluation section of the report. As a circa 1930 Moderne style C & O Railroad bridge, this bridge maintains sufficient historic integrity and significance to be a contributing element to the West Side/Main Strasse Historic District.

Field Site 221

Contributing to West Side/Main Strasse

House

West Side/Main Strasse Historic District

KEC-1023

Circa 1890

727 Dalton Street

Covington, KY 41011

39.08197, -84.521006



Plate 115. House, looking west.

Description:

This 2.5 story frame house was constructed circa 1890 in the Italianate style. The dwelling is characterized by its decorative cornice with paired scroll brackets and small windows. The roof is a side gable asphalt shingle roof with a gable end brick chimney. The fenestration pattern is D-W and the house is clad in vinyl siding. The windows are 2/2 vinyl sash windows on the main façade and 1/1 vinyl sash on the side elevations. There are two-light basement windows on the southern elevation. The main entrance is a modern door with leaded glass and is topped by a transom. Another entrance is located on the southern elevation. The foundation is stone. This property is within the boundaries of the NRHP listed West Side/Main Strasse Historic District (NRHP # 83003650). A previous investigation / survey form was not found for the property. This resource is on a parcel which had takings originally planned in earlier versions of the project plans, but the project plans have been adjusted to avoid any takings for these properties and to avoid impacts to the Westside/Main Strasse Historic District.



Plate 116. Left: House, looking northwest. Right: House, looking southwest.

NRHP Eligibility: Listed/Contributing – West Side/Main Strasse Historic District

This property is listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District. It retains sufficient historic integrity and significance to retain its status as listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District.

Field Site 222

Contributing to West Side/Main Strasse

House

KEC-1024

Circa 1900

725 Dalton Street

Covington, KY 41011

39.082015, -84.520969



Plate 117. House, looking northeast.

Description:

This one story frame Shotgun house was constructed circa 1900. The house is characterized by its narrow footprint, interior brick chimney, and front-gable roof. The asphalt shingled front gable roof has a cross-gable roof on the rear addition. The fenestration pattern is D-W. The windows are 1/1 vinyl sash windows. The main entrance is an original wooden door, topped by a transom, and protected by a screen door. The foundation is stone. At the basement level is a modern door on the southern elevation that is topped by a two-light transom. There is a double hoop cast iron fence in front of the property (B). This property is within the boundaries of the NRHP listed West Side/Main Strasse Historic District (NRHP #83003650). A previous investigation / survey form was not found for the property. This resource is on a parcel which had takings originally planned in earlier versions of the project plans, but the project plans have been adjusted to avoid any takings for these properties and to avoid impacts to the Westside/Main Strasse Historic District.



Plate 118. Left: House, looking southwest. Right: Fence (B), looking northwest.

NRHP Eligibility: Listed/Contributing – West Side/Main Strasse Historic District

This property is listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District. It retains sufficient historic integrity and significance to retain its status as listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District.

Field Site 223

Contributing to West Side/Main Strasse

House

KEC-1025

Circa 1890

723 Dalton Street

Covington, KY 41011

39.082096, -84.520971



Plate 119. House, looking northwest.

Description:

This two story frame Northern Kentucky townhouse was built circa 1890 in the Italianate style. This house is characterized by its side entrance, decorative cornice with scroll brackets, and asbestos siding. The side gable asphalt shingle roof is pierced by a brick interior chimney. The fenestration pattern is W-W. The windows are 1/1 vinyl sash with wooden trim and the basement level windows are glass block. The cornice is divided by the second story windows. The two entrances on the southern (side) elevation are capped by aluminum awnings. The doors have a full lights and transoms. The foundation is parged stone. There is a non-historic metal fence in front of the property (B). This property is within the boundaries of the NRHP listed West Side/Main Strasse Historic District (NRHP #83003650). The district was listed on November 10, 1983. A previous investigation / survey form was not found for the property. This resource is on a parcel which had takings originally planned in earlier versions of the project plans, but the project plans have been adjusted to avoid any takings for these properties and to avoid impacts to the Westside/Main Strasse Historic District.



Plate 120. Left: House, looking west. Right: Fence (B), looking west.

NRHP Eligibility: Listed/Contributing – West Side/Main Strasse Historic District

This property is listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District. It retains sufficient historic integrity and significance to retain its status as listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District.

Field Site 224

Contributing to West Side/Main Strasse

House

KEC-1026

Circa 1890

721 Dalton Street

Covington, KY 41011

39.082366, -84.520953



Plate 121. House, looking west.

Description:

This two story frame Northern Kentucky townhouse was built circa 1890 in the Italianate style. This house is characterized by its side entrance, pedimented crowns, and end brackets with dental work at the cornice. The house was currently undergoing a renovation at the time of survey. The roof is an asphalt shingled side gable roof and the house is clad in Hardie board siding. The fenestration pattern is W-W. The windows paired or single 2/1 and 3/1 vinyl sash windows. There is an entrance on the side, southern elevation with modern porch materials. The foundation is stone. There is a double hoop cast iron fence with a gate (B). This property is within the boundaries of the NRHP listed West Side/Main Strasse Historic District (NRHP #83003650). A previous investigation / survey form was not found for the property. This resource is on a parcel which had takings originally planned in earlier versions of the project plans, but the project plans have been adjusted to avoid any takings for these properties and to avoid impacts to the Westside/Main Strasse Historic District.



Plate 122. Left: House, looking southwest. Right: Fence (B), looking northwest.

NRHP Eligibility: Listed/Contributing – West Side/Main Strasse Historic District

This property is listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District. It retains sufficient historic integrity and significance to retain its status as listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District.

Field Site 225

Contributing to West Side/Main Strasse

House

KEC-1027

Circa 1890

719 Dalton Street

Covington, KY 41011

39.082233, -84.521001



Plate 123. House, looking west.

Description:

This one story frame Shotgun house was constructed circa 1890. The house is characterized by its narrow footprint and decorative cornice with cornice returns. The roof is an asphalt shingled front-gable roof pierced by an interior brick chimney. The fenestration pattern is D-W and the house is clad in aluminum siding. The windows are 2/2 wooden sash windows. The main entrance is a modern door with a half-moon window, topped by an aluminum awning, and protected by a screen door. The windows are flanked by faux vertical plank shutters. The foundation is stone. There is a rear shed roof addition with concrete block foundation and vinyl siding. There is a double hoop cast iron fence in front of the property (B). This property is within the boundaries of the NRHP listed West Side/Main Strasse Historic District (NRHP #83003650). A previous investigation / survey form was not found for the property. This resource is on a parcel which had takings originally planned in earlier versions of the project plans, but the project plans have been adjusted to avoid any takings for these properties and to avoid impacts to the Westside/Main Strasse Historic District.



Plate 124. Left: House, looking southwest. Right: Fence (B), looking southwest.

NRHP Eligibility: Listed/Contributing – West Side/Main Strasse Historic District

This property is listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District. It retains sufficient historic integrity and significance to retain its status as listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District.

Field Site 226

Contributing to West Side/Main Strasse

House

KEC-1028

Circa 1920

707 Dalton Street

Covington, KY 41011

39.083153, -84.522386



Plate 125. House and stone wall (B), looking northwest.

Description:

This 1.5 story brick, gable front residence was constructed circa 1920. This house is characterized by its front gable roof, full-width porch with brick railing, and square brick columns. The roof is an asphalt shingled gable-front roof with large, gable roof dormers clad with slate shingle siding. The gable end is defined by a decorative cornice. A brick interior chimney pierces the roof. The fenestration pattern is W-D. There is a wooden picture window topped by a leaded glass transom on the main façade. The other windows are 1/1 wooden sash windows. The main entrance is sheltered under the front porch and is a wooden door with a full-size light. The foundation is parged stucco. There is an historic dry laid stone retaining wall (B) in front of the house. This property is within the boundaries of the NRHP listed West Side/Main Strasse Historic District (NRHP #83003650). A previous investigation / survey form was not found for the property. This resource is on a parcel which had takings originally planned in earlier versions of the project plans, but the project plans have been adjusted to avoid any takings for these properties and to avoid impacts to the Westside/Main Strasse Historic District.



Plate 126. Left: House, looking west. Right: House, looking northwest.

NRHP Eligibility: Eligible/Contributing – West Side Main Strasse Historic District

This property was built outside the period of significance (POS) for the West Side / Main Strasse Historic District; however, the current study recommends that the POS for this district be extended to 1945, as discussed above. The property retains sufficient historic integrity and significance to the revised POS and is recommended contributing. For these reasons, this house is recommended *Eligible* as a contributing resource to the West Side / Main Strasse Historic District with its proposed expanded POS.

Field Site 227

Contributing to West Side/Main Strasse

House

KEC-1029

Circa 1890

651 Dalton Street

Covington, KY 41011

39.08284, -84.521022



Plate 127. House, looking northwest.

Description:

This 2.5 story brick Northern Kentucky townhouse was built circa 1890 in the Italianate style. This house is characterized by its side entrance and decorative cornice with scroll brackets and small windows. The side gable asphalt shingle roof is pierced by a brick interior chimney. The fenestration pattern is W-W. The windows are 2/2 and 1/1 wooden sash and trim with hooded crowns and bracketed sills. The hooded crowns feature incised motifs. The side elevation windows have unadorned stone lintels and sills. There are two entrances on the side, southern elevation with original two panel half-light wooden doors. The foundation is stone. The fence is a hoop and spear cast iron fence with gate by the Stewart Covington Iron works (B). This property is within the boundaries of the NRHP listed West Side/Main Strasse Historic District (NRHP #83003650). A previous investigation / survey form was not found for the property. This resource is on a parcel which had takings originally planned in earlier versions of the project plans, but the project plans have been adjusted to avoid any takings for these properties and to avoid impacts to the Westside/Main Strasse Historic District.



Plate 128. Left: House, looking west. Right: Fence (B), looking northwest.

NRHP Eligibility: Listed/Contributing – West Side/Main Strasse Historic District

This property is listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District. It retains sufficient historic integrity and significance to retain its status as listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District.

Field Site 228

Contributing to West Side/Main Strasse

House

KEC-1030

Circa 1890

649 Dalton Street

Covington, KY 41011

39.082938, -84.522459



Plate 129. House, looking west.

Description:

This two story brick Northern Kentucky townhouse was built circa 1890 in the Italianate style. This house is characterized by its side entrance and front gable roof with cornice returns. The roof is an asphalt shingle front gable roof with a decorative cornice. The fenestration pattern is W-W. The windows are 1/1 wooden sash on the main façade and 2/2 wooden sash and trim on the side elevations. The main façade windows feature hooded crowns and bracketed sills. The side elevation windows have unadorned stone lintels and sills. The basement level windows are covered by a metal grate. The main side entrance door is a wooden two panel half-light door topped by a frame portico that has a hipped roof with brackets. The foundation is stone. A wrought iron, double hoop cast iron fence (B) with a gate constructed by Covington Stone and Iron Works is located in front of the house. This property is within the boundaries of the NRHP listed West Side/Main Strasse Historic District (NRHP #83003650). A previous investigation / survey form was not found for the property. This resource is on a parcel which had takings originally planned in earlier versions of the project plans, but the project plans have been

adjusted to avoid any takings for these properties and to avoid impacts to the Westside/Main Strasse Historic District.



Plate 130. Left: House, looking southwest. Right: Fence (B), looking northwest.

NRHP Eligibility: Listed/Contributing – West Side/Main Strasse Historic District

This property is listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District. It retains sufficient historic integrity and significance to retain its status as listed in the NRHP as a contributing element to the West Side/Main Strasse Historic District.

Field Site 229

Contributing to West Side/Main Strasse

House

KEC-1031

Circa 1890

647 Dalton Street

Covington, KY 41011

39.082982, -84.521003



Plate 131. House and Fence (B), looking, northwest.

Description:

This 2.5 story frame townhouse was constructed circa 1890. This house is characterized by its side gable roof, vinyl siding, and transom over an original wooden door. The roof is an asphalt shingle side gable roof pierced by an interior parge chimney. The fenestration pattern is D-W. The windows are 9/9 vinyl sash with faux shutters. The main entrance is an historic wooden door with a full light and topped by a transom with modern stained glass. The foundation was not visible at the time of survey. There is a one story ell with a shed roof at the rear of the house. There is a modern metal fence (B) in front of the property. Additionally, iron posts (C) with connecting chains are located to the north of the house in front of a cedar plank fence (D). This property is within the boundaries of the NRHP listed West Side/Main Strasse Historic District (NRHP #83003650). A previous investigation / survey form was not found for the property. This resource is on a parcel which had takings originally planned in earlier versions of the project plans, but the project plans have been adjusted to avoid any takings for these properties and to avoid impacts to the Westside/Main Strasse Historic District.

The Sanborn Fire Insurance Company map from 1954, indicates this house was adjacent to Goebel Park.²⁶³ The iron posts may have been originally part of the gate into the park; however, Kenton County parcel data indicate the posts are located on this house's, rather large, .6 acre parcel.²⁶⁴



Plate 132. Left: House and Cedar fence (C), looking southwest. Right: Iron posts (D), looking northwest.

NRHP Eligibility: Listed/Contributing – West Side/Main Strasse Historic District

This property is listed as a contributing element to the West Side/Main Strasse Historic District. Despite undergoing changes to its exterior cladding and windows, it retains the significance and integrity to be recommended eligible to the West Side/Main Strasse historic district.

²⁶³ "Covington Kentucky 1909-1954, Republished 1954" (New York: Sanborn Map Company, 1954).

²⁶⁴ Kenton County Property Valuation Administrator, <https://www.kentonpva.org/> (accessed July 22, 2022).

Field Site 181

Lewisburg Historic District

KE-010 (KECL-987, KECL-986, KECI-983, KECL-115, KECL-117, KECL-119, KECI-116, KECL-136, KECL-137, & KECL-176)

Circa 1970

Covington, KY 41011

39.07669, -84.522963



Plate 133. Looking northeast down W. 12th Street from Hermes Avenue in Lower Lewisburg.

Description:

The Lewisburg Historic District (93001165) was listed in the NRHP under Criterion A in 1993 as an important example of suburban growth in Covington from 1840 to 1947. The Area of Significance is Community Planning and Development. The neighborhood reflects the waves of expansion that impacted Covington's growth and, at the same time, "exhibits a strong sense of its own identity as a traditionally separate community."²⁶⁵ Lewisburg was also nominated under Criterion C for its "solid inventory of locally typical working and middle class domestic architecture of the second half of the nineteenth century and early twentieth century; as well as some notable examples of domestic, institutional and commercial architecture."²⁶⁶ Architectural styles and types represented most frequently include Italianate, Gothic Revival, Queen Anne, Greek Revival, Bungalow/Craftsman, Shotgun

²⁶⁵ Alexandra Kornilowicz-Weldon, "Lewisburg Historic District," Nomination to the National Register of Historic Places, 1993, Section 8-2

²⁶⁶ Ibid.

houses, Northern Kentucky Townhouses, and Colonial Revival. The district is characterized by narrow lot sizes and an urban appearance. Setback from the street is minimal in most instances.

Topography played an important role in the creation and maintenance of the neighborhood's identity. The hilly terrain provided a character-defining feature, distinguishing the community from the more level topography on the east side of Covington. Willow Run Creek, which was located along the route of I-75/71, historically divided Lewisburg on the west from Covington's core on the east. Pike Street, known originally as the Lexington Turnpike, was the only connection between Lewisburg and Covington in the mid-nineteenth century. Pike Street remains the main east-west connector route, dividing the community into Upper and Lower Lewisburg, and providing the commercial and institutional infrastructure that the neighborhood relied upon, prior to the development of suburban commercial developments. The turnpike was among the main routes from the Inner Bluegrass Region in the nineteenth century and became an important north-south road upon its designation as one of the Dixie Highway routes in 1916. The construction of I-75/71 in the 1960s removed much of the traffic from the route, leading to a decline in the area.

The NRHP boundaries for Lewisburg were determined based on plat maps studies and subsequent field work. According to the NRHP nomination form, the district is roughly bounded by I-75/71 on the east and southeast, to the west and southwest by the steep hill slope, and to the north by the extension of West 8th Street.



Plate 134. Looking northwest along Lewis Street in Upper Lewisburg.



Plate 135. Looking east along Pike Street toward St John the Evangelist Roman Catholic Church.



Plate 136. Looking north on Pike Street toward Herb and Thelma's Tavern, a neighborhood landmark and home of a damn good burger.

NRHP Eligibility: Listed

The Lewisburg Historic District retains sufficient historic integrity and significance to retain its status as listed in the NRHP. Cardno has no recommendations for alterations to the NRHP boundaries and the Period of Significance appears to account for the important development that occurred in Lewisburg to just after World War II. The field team inspected the NRHP boundaries at the northern end of the district, along both Crescent and Western Avenues to determine if an expansion could occur at this location; however, too much modern and discontinuous older development has transpired in this area to merit an addition to the NRHP boundary. The NRHP boundary near I-75 remains intact as well. The NRHP boundary map can be viewed in **Figure 66** below.

The field team surveyed FS 205 – FS 215 (KECL-988 -KECL-176) within this district.



Figure 66. KE-010, Lewisburg Historic District, NRHP Boundary Map

Effects Assessment: Adverse Effect

This Lewisburg Historic District will experience an Adverse Effect from this project. Of all the existing or proposed historic districts intersecting the APE, the Lewisburg Historic District will experience the greatest number of negative impacts from this undertaking. Several properties including National Register-listed contributing elements FS 209/KECL-115 and FS 213/KECL-136 will need to be acquired and demolished to obtain the right-of-way needed for the westward shift of Bullock Street and the construction of retaining walls in this area. Additionally, strip takings from the eastern property boundaries of National Register-listed contributing elements FS 210/KECL-117, FS 211/KECL-119, and FS 214/KECL-137 will also be required to obtain the necessary right-of-way for the westward shift of Bullock Street and the construction of retaining walls. As a part of this undertaking, the paved portion of the interstate and/or local roads will also be placed generally closer to the district. In general, the undertaking will encroach on the eastern National Register boundary of the Lewisburg Historic District and require its narrowing around Bullock, 11th, and 12th Streets.

For FS 205-FS 208 (KECL-988-986, KECL-983) and FS 215 (KECL-176), these properties will have strip takings from the rear of their parcels for proposed new right-of-way for construction, but the existing NRHP boundary excludes this portion of the rear of the parcel. As a result, this new-right-of-way acquisition and its associated construction activities should not negatively impact their historic integrity. A small amount of encroachment on the eastern National Register boundary of the Lewisburg Historic District is also apparent adjacent to the National Register-Listed brick shotgun houses along Lewis Street although the shotgun houses themselves should not be impacted. Although construction limits extend across a corner of the NRHP boundary near Crescent Avenue at the northern end of the National Register boundary of the Lewisburg Historic District there are no buildings in this area, and the construction limit is indicated for equipment and construction staging rather than for new construction itself.

Lewisburg Contributing and Recommended Contributing Properties

The following field sites are recommended contributing to the Lewisburg Historic District. These include: FS 206/KECL-987, FS 207/KECL-986, FS 208/KECL-983, FS 209/KECL-115, FS 210/KECL-117, FS 211/KECL-119, FS 212/KECL-116, FS 213/KECL-136, FS 214/KECL-137, and FS 215/KECL-176. Effects for these contributing properties are discussed in the associated historic district's Effects Assessment above.

Field Site 205

Contributing to Lewisburg

House

KECL-988

Circa 1900

804 Crescent Avenue

Covington, KY 41011

39.080935, -84.523238



Plate 137. House, looking east.

Description:

This resource is a two story house, constructed circa 1900. The building is clad in vinyl siding. The front gable roof is covered in asphalt shingles. An interior brick chimney is situated along the ridge of the roof. There is a D-W fenestration pattern with 1/1 vinyl windows on the first and second floor. The modern entry metal-clad door was topped with a transom window; however, it has been enclosed with vinyl siding in recent years. The facade's first floor window has been reduced in size as has the door. The second floor windows are narrow 1/1 vinyl sash, flanked by nonoperational shutters. The resource sits on a stone foundation wall. There is a shed addition attached to the east (rear) elevation. There are no outbuildings associated with this property. This house is first depicted in the 1909 Sanborn Map.²⁶⁷ The address is listed in the 1900-1901 city directory. At the time, Amelia Hepp, a seamstress, and Joseph

²⁶⁷ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.

Hepp, a packer, were living at the house.²⁶⁸ This property is listed as a contributing property in the Lewisburg historic district.

This property within the Lewisburg Historic District was surveyed because there will be a strip taking from the rear of its parcel for proposed new right-of-way for construction, but the existing NRHP boundary excludes that portion of the rear of the parcel. As a result, this new-right-of-way acquisition and its associated construction activities should not negatively impact its historic integrity.



Plate 138. House, looking southeast.

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

²⁶⁸ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1900-1901), 108.

Field Site 206

Contributing to Lewisburg

House

KECL-987

Circa 1890

806 Crescent Avenue

Covington, KY 41011

39.08087, -84.523195



Plate 139. House, looking east.

Description:

This resource is a two story house, constructed circa 1890. The building is clad in weatherboard siding. The side gable roof is covered with asphalt shingles. An interior parged brick chimney is centrally located on the rooftop. There is a D-W fenestration pattern with 2/2 wood windows on the first and second floors. Each wall opening is adorned with a decorative wood surround. The entry door has been boarded with plywood; however, a transom window above the door is visible. A thick, Italianate cornice line contains brackets and sawtooth molding. The resource sits on a stone foundation. There is a shed addition attached to the east (rear) elevation. The building abuts its neighbor house (KECL-986) along the south elevation. Located to the west of the primary resource is a cast iron fence that runs parallel to Crescent Avenue (B). This house is first depicted in the 1909 Sanborn Map.²⁶⁹

²⁶⁹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.

This property is listed as a contributing property in the Lewisburg historic district.

This property within the Lewisburg Historic District was surveyed because there will be a strip taking from the rear of its parcel for proposed new right-of-way for construction, but the existing NRHP boundary excludes that portion of the rear of the parcel. As a result, this new-right-of-way acquisition and its associated construction activities should not negatively impact its historic integrity.



Plate 140. House, looking east.

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

Field Site 207

Contributing to Lewisburg

House

KECL-986

Circa 1890

808 Crescent Avenue

Covington, KY 41011

39.080824, -84.523201



Plate 141. House, looking east.

Description:

This resource is a 1.5 story Italianate style house, constructed circa 1890. The building is clad in vinyl siding. The side gable roof is covered with asphalt shingles. An interior brick chimney is centrally located. There is a W-D fenestration pattern with a 1/1 vinyl window and a modern door with a transom window. Metal awnings (circa 1960) shelter entry and the façade's window. The cornice features Italianate brackets and millwork, as well as two sliding vinyl windows. The resource sits on a parged foundation wall. Located to the west of the primary resource is a cast iron fence that runs parallel to Crescent Avenue (B). This house is first depicted in the 1909 Sanborn Map.²⁷⁰ This property is listed as a contributing property in the Lewisburg historic district.

This property within the Lewisburg Historic District was surveyed because there will be a strip taking from the rear of its parcel for proposed new right-of-way for construction, but the existing NRHP

²⁷⁰ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.

boundary excludes that portion of the rear of the parcel. As a result, this new-right-of-way acquisition and its associated construction activities should not negatively impact its historic integrity.



Plate 142. House, looking southeast.

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

Field Site 208

Contributing to Lewisburg

House

KECL-983

Circa 1895

812 Crescent Avenue

Covington, KY 41011

39.080677, -84.523155



Plate 143. House, looking northeast.

Description:

This 1.5 story, vernacular, brick house was constructed circa 1895. The brick is laid in a common bond pattern. The side gabled roof is covered with asphalt shingles. The fenestration pattern is W-D with 1/1 vinyl sash replacement windows. The first floor window and door openings have been reduced in size; both are topped with lintels. The modern entry door has six lights over two panels with a lintel above the transom. The transom over the door and the space left by the smaller replacement windows have been covered by vinyl panels made to look like wood shingles. The cornice area under the roof line is also covered with the same vinyl panels that resemble wood shingles. A shed roof, vinyl clad addition is offset and attached to the rear of the house. The house rests on a continuous brick foundation wall. In front of the house at the sidewalk is a cast iron fence (B). The design of the fence is simple with three horizontal rails, taller main pickets alternating with shorter intermediate pickets, and square posts topped with decorative finials. It appears that there was once a gate attached to the south end of the fence, but it has been removed and a metal railing and steps have been added for access to the front of

the house, which is lower than the sidewalk. A two-bay garage (C) is to the south of the primary resource. This rusticated block garage has a shed roof and two modern metal rolltop garage doors.

This property is first depicted on the 1909 Sanborn Fire Insurance Map of Covington. The earlier maps from 1886 and 1894 do not have this area mapped. In 1909, this property is shown as a double lot along Crescent Avenue, and the house is presented as a 1.5 story brick building with a frame cornice, a slate or tin roof, and a one story outbuilding behind the residence. However, by 1937, according to the Sanborn maps, the lot for 812 Crescent Avenue had been changed to a single lot that ran from Crescent Avenue through to Horton Road (which is no longer extant due to Interstates 75/71 being constructed). At that time, the residence is shown as a one story brick dwelling with a fireproof roof of either slate, tile, metal, or asbestos. A one story garage is shown on Horton Road. The lot to the south of 812 Crescent is depicted with a residence at 813 Horton Road with a one story garage on Crescent Avenue, which is where the current garage is located. The garage is still located on a separate parcel but appears to have been used by 812 Crescent Avenue for some time.²⁷¹ This property was last surveyed as KECL-983 in December 2006 and determined to be a contributing property in the Lewisburg National Register of Historic Places Historic District.

This property within the Lewisburg Historic District was surveyed because there will be a strip taking from the rear of its parcel for proposed new right-of-way for construction, but the existing NRHP boundary excludes that portion of the rear of the parcel. As a result, this new-right-of-way acquisition and its associated construction activities should not negatively impact its historic integrity.



Plate 144. Left: Cast iron fence, looking northeast. Right: Garage, looking southeast.

²⁷¹ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/; Sanborn Map Company, 1937, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, [Insurance maps of Covington, Kentucky. V.01 - Maps & Atlases - Digital Library \(cincinnati.library.org\)](https://www.loc.gov/item/sanborn03152_001/).

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

Field Site 209

Contributing to Lewisburg

Northern Kentucky Townhouse

KECL-115

Circa 1875

606 West 11th Street

Covington, KY 41011

39.076638, -84.52048



Plate 145. House, looking northwest.

Description:

This one story Northern Kentucky Townhouse was constructed circa 1875. This residence is characterized by entry on the side of the residence rather than the façade, cornice returns, a dentiled cornice, and a six light wood casement window at the gable. The front gable roof is covered with asphalt shingles and has box gutters. The residence is clad in vinyl siding. The fenestration pattern is W-W with 1/1 vinyl sash replacement windows on the first floor. The windows in the basement level are replacement glass block windows. The entry is a modern six panel door with a transom above on the northeast side of the residence. The northeast elevation also features an exterior brick chimney. The foundation is continuous mortared cut stone.

This property is first depicted on the 1886 Sanborn Fire Insurance Map for 1886 with an address of 18505 West 11th Street. It is shown as a 1.5 story frame dwelling with a shingle roof. The address for this residence changes at least twice according to the Sanborn maps: in 1894 the address is 218 West 11th

Street; in 1937 the address is 606 West 11th Street.²⁷² This property was last surveyed as KECL-115 in July 1989. The house was determined to be a contributing property in the Lewisburg National Register of Historic Places Historic District.

This property within the Lewisburg Historic District was surveyed because it will need to be acquired and demolished to obtain the right-of-way needed for the westward shift of Bullock Street and the construction of retaining walls in this area.



Plate 146. Left: House, looking northwest. Right: Detail of gable returns, box gutters, dentiled cornice, and pentagon window.

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

²⁷² Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/; Sanborn Map Company, 1937, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, [Insurance maps of Covington, Kentucky. V.01 - Maps & Atlases - Digital Library \(cincinnati.library.org\)](https://www.loc.gov/item/sanborn03152_004/).

Field Site 210

Contributing to Lewisburg

House

KECL-117

Circa 1880

608 West 11th Street

Covington, KY 41011

39.076641, -84.5206



Plate 147. House, looking northwest.

Description:

This 1.5 story frame residence was constructed circa 1880 in the Italianate style. The house is characterized by Italianate style cornice brackets and cornice-line with a diamond pattern. The side gable roof is covered with asphalt shingles and has an interior, parged brick chimney on the southeastern roof slope. The house is clad in aluminum siding and has a fenestration pattern of W-D. The windows are 1/1 vinyl sash with the exception of the façade windows, which are 2/2 wood on the first floor, and vinyl siding-covered windows on the upper level. The entry door is protected by a metal storm door. A later Craftsman porch has been added to the front of the residence. The half-hipped roof of the porch rests on square brick columns with an open brickwork railing topped by concrete coping. The foundation of the residence has been parged. A double-hoop style cast iron fence (B) with two horizontal rails is located in front of the residence at the sidewalk.

This property first shows up on the 1886 Sanborn Fire Insurance Map as 18504 West 11th Street. It is depicted as a 1.5 story dwelling with a shingle roof. In 1894 and 1909 the address had changed to 220

West 11th Street, but by 1937, the address was the same as the current address: 608 West 11th Street.²⁷³ This property was last surveyed as KECL-117 in July 1989. The property was determined to be a contributing property in the Lewisburg National Register of Historic Places Historic District.

This property within the Lewisburg Historic District was surveyed because a strip taking from the eastern property boundary of this parcel is required to obtain the necessary right-of-way for the westward shift of Bullock Street and for the construction of retaining walls.



Plate 148. House, looking northwest.

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

²⁷³ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/; Sanborn Map Company, 1937, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, [Insurance maps of Covington, Kentucky. V.01 - Maps & Atlases - Digital Library \(cincinnati.library.org\)](https://www.loc.gov/item/sanborn03152_004/).

Field Site 211

Contributing to Lewisburg

House

KECL-119

Circa 1887

609 West 11th Street

Covington, KY 41011

39.076332, -84.52061



Plate 149. House, looking southwest.

Description:

This two story brick, side passage residence was constructed circa 1887 in the Italianate style. The house is distinguished by a bracketed cornice with decorative molded panels, and Italianate style window and door crowns. The house features a running brick bond pattern on the façade and a common bond pattern on the northeast side. The standing seam metal roof is side gabled with an interior brick chimney. The fenestration pattern is D-W with 1/1 wood sash windows, three-light horizontal windows at the cornice, and a five panel wood door topped with a transom window. The windows and door have stone sills with brackets. A recessed, single-light three panel wood door with transom entry on the northeast side of the house is sheltered by a shed roof porch supported by turned posts with brackets and spandrels with circular piercings, and a railing with turned balusters. The continuous foundation is mortared cut stone that has been parged. A double hoop cast iron fence (B) with three horizontal rails and posts with quad flair finials is located in front of the house at the sidewalk. The gate has a badge with the name "The Stewart Iron Works Co, Cincinnati, Ohio."

This residence is first seen on the 1909 Sanborn map as 221 West 11th Street. It is depicted as a 2.5 story brick dwelling with a slate or tin roof. By 1937 the address had changed to the current address of 609 West 11th Street.²⁷⁴ This property was last surveyed as KECL-119 in July 1989. The house was determined to be a contributing property in the Lewisburg National Register of Historic Places Historic District.

This property within the Lewisburg Historic District was surveyed because a strip taking from the eastern property boundary of this parcel is required to obtain the necessary right-of-way for the westward shift of Bullock Street and for the construction of retaining walls.



Plate 150. Left: Fence, looking southeast. Left: Stewart Iron Works Company badge on gate.

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

²⁷⁴ Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/; Sanborn Map Company, 1937, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, [Insurance maps of Covington, Kentucky. V.01 - Maps & Atlases - Digital Library \(cincinnati-oh.org\)](https://www.cincinnati-oh.org/cincinnati-historical-society/collections/insurance-maps-of-covington-kentucky-v.01-maps-atlases-digital-library-cincinnati-oh).

Field Site 212

Non-Contributing to Lewisburg

House

KECL-116

Circa 1875

605 West 11th Street

Covington, KY 41011

39.076399, -84.520384



Plate 151. House, looking southwest.

Description:

This single story stone veneer camelback shotgun house was constructed circa 1875. Character-defining features of the house are the cornice returns, dentiled façade cornice, and the building's overall design. The front gable roof is covered with asphalt shingles and has box gutters. The building has a circa 1960 stone veneer on the façade and southwest side. The brick is visible on the northeast side of the house. The fenestration pattern of the façade is W-D with a 1/1 wood sash window and a modern six panel clad door. The door and windows have stone veneer jack arches with keystones. The camelback addition is clad in vinyl siding. The foundation was not visible at the time of the survey. A hoop and picket cast iron fence (B) is located in front of the house at the sidewalk. The fence has two horizontal rails, and the pickets have decorative finials. The gate is still extant but appears to be non-operational.

This house first appears on Sanborn maps in 1886. The address has changed over time from 18509 West 11th Street in 1886, to 217 West 11th Street in 1894, and finally to 605 West 11th Street by 1937.²⁷⁵ This property was last surveyed as KECL-116 in July 1989. The house was determined to be a contributing property in the Lewisburg National Register of Historic Places Historic District.

This property within the Lewisburg Historic District was surveyed because it will need to be acquired and demolished to obtain the right-of-way needed for the westward shift of Bullock Street and the construction of retaining walls in this area.



Plate 152. Left: View of façade and southwest side of house. Right: View of northeast side of house showing brick.

*NRHP Eligibility: **Updated Recommendation: Non-Contributing** – Lewisburg Historic District*

This property is currently listed in the NRHP nomination as a contributing element to the Lewisburg Historic District; however, since the date of its listing, this property has been unsympathetically modified through covering several its brick exterior walls in mid-twentieth century stone veneer and through the replacement its windows and doors. At this point, it no longer retains sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District. As a result, its updated recommendation is that it should become a non-contributing element within the existing NRHP boundaries of the Lewisburg Historic District.

²⁷⁵ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/; Sanborn Map Company, 1937, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, [Insurance maps of Covington, Kentucky. V.01 - Maps & Atlases - Digital Library \(cincinnatilibary.org\)](https://www.loc.gov/item/sanborn03152_004/).

Field Site 213

Contributing to Lewisburg

House

KECL-136

Circa 1888

604 West 12th Street

Covington, KY 41011

39.076007, -84.520178



Plate 153. House, looking northwest.

Description:

This two story brick, side passage residence was constructed circa 1888 in the Italianate style. The house is characterized by a bracketed cornice and Italianate style crowns over the door and windows. The brick is laid in a common bond pattern. The shed roof is covered by metal panel roofing and has two interior parged chimneys on the southwest side. The cornice beneath the soffit is bracketed and features dentils. The fenestration pattern is W-D with a 1/1 metal sash window and replacement full-length glass entry door. The windows are 1/1 metal sash with exception of two glass block windows on the rear of the house. On the façade, the windows have stone sills with brackets below, and the windows and door have decorative stone, pedimented crowns above. There are glass block windows in the foundation and a modern double entry on the northeastern side of the building. The continuous cut stone foundation has been parged in some areas.

Sanborn Fire Insurance Company maps first depict this residence in 1894 as a two story brick dwelling. The address on the 1894 map is 264 West 12th Street. By 1909 the Sanborn map shows the address as

318 West 12th Street, and the current address is shown on the 1937 Sanborn map.²⁷⁶ This property was last surveyed as KECL-136 in August 1989. The house was determined to be a contributing property in the Lewisburg National Register of Historic Places Historic District.

This property within the Lewisburg Historic District was surveyed because it will need to be acquired and demolished to obtain the right-of-way needed for the westward shift of Bullock Street and the construction of retaining walls in this area.



Plate 154. Left: House, looking southwest. Right: Rear of house, looking northwest.

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

²⁷⁶ Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/; Sanborn Map Company, 1937, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, [Insurance maps of Covington, Kentucky. V.01 - Maps & Atlases - Digital Library \(cincinnati.ohio.gov\)](https://www.loc.gov/item/sanborn03152_004/).

Field Site 214

Contributing to Lewisburg

House

KECL-137

Circa 1888

606 West 12th Street

Covington, KY 41011

39.075944, -84.520231



Plate 155. House, looking northwest.

Description:

This single story frame shotgun house was constructed circa 1888 in the Italianate style. The Italianate style wood cornice features decorative brackets and louvered vents. The shed roof is covered with metal panel roofing and the house is clad in vinyl siding. The fenestration pattern is W-D with a 2/2 wood sash window and a modern six-light clad entry door with a replacement transom above. A non-historic wood porch leads to the entry. The continuous foundation is mortared cut stone; the basement is lit by single glass block window on the facade. A hoop and picket style cast iron fence (B) is located in front of the house at the sidewalk. The fence has three horizontal rails, and the pickets are adorned with decorative spearhead finials. The gate has been replaced with a chain link gate.

This property first appears on the 1909 Sanborn Fire Insurance Map as a one story frame dwelling with a slate or tin roof and an address of 320 West 12th Street. By 1937, the Sanborn map shows the house

with its current address.²⁷⁷ This property was last surveyed as KECL-137 in August 1989. The house was determined to be a contributing property in the Lewisburg National Register of Historic Places Historic District.

This property within the Lewisburg Historic District was surveyed because a strip taking from the eastern property boundary of this parcel is required to obtain the necessary right-of-way for the westward shift of Bullock Street and for the construction of retaining walls.



Plate 156. Left: House, looking southeast. Right: Cast iron fence.

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

²⁷⁷ Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/; Sanborn Map Company, 1937, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, [Insurance maps of Covington, Kentucky. V.01 - Maps & Atlases - Digital Library \(cincinnati.library.org\)](#).

Field Site 215

Contributing to Lewisburg

House

KECL-176

Circa 1885

607 Watkins Street

Covington, KY 41011

39.074917, -84.520015



Plate 157. House, looking southeast.

Description:

This 1.5 story vernacular brick side passage house was constructed circa 1885. The brick is a running bond pattern on the façade and a common bond pattern on the rest of the house. The front gable roof is covered with asphalt shingles and features cornice returns and an interior parged central chimney at the peak. The fenestration pattern is D-W with a twelve light clad door., and 1/1 metal-clad wood sash windows. The windows have stone sills with simple stone lintels above. There is a single light window with a stone sill in the foundation. Wooden steps, with a metal rail, lead to the front entry. There is a recessed entry on the northeast side of the house that is protected by a shed roof porch. Foliage makes details of this entry and porch hard to see. The continuous foundation is mortared cut stone that has been parged in areas. A low, mortared stone wall (B) is located in front of the house at the sidewalk. This property was last surveyed as KECL-176 in August 1989. The house was determined to be a contributing property in the Lewisburg National Register of Historic Places Historic District.

This property within the Lewisburg Historic District was surveyed because a strip taking from the rear of its parcel is required for proposed new right-of-way for construction, but the existing NRHP boundary excludes this portion of the rear of the parcel. As a result, this new-right-of-way acquisition and its associated construction activities should not negatively impact its historic integrity.



Plate 158. Left: Recessed northeast side entry, looking southeast. Right: Mortared stone wall, looking southeast.

NRHP Eligibility: Listed/Contributing – Lewisburg Historic District

This property is listed as a contributing element to the Lewisburg Historic District. This property appears to retain sufficient historic integrity and significance to retain its status as a National Register-listed contributing element to the Lewisburg Historic District.

Field Site 182

Old Fort Mitchell Historic District

KE-011

Circa 1906 - 1935

Ft. Mitchell, KY

39.058808, -84.544313



Plate 159. South side of West Orchard Road between Dixie Highway and Coleman Street, looking west. 5 and 9 West Orchard Road (KEFM-223 and 224) are in the foreground.

Description:

The Old Fort Mitchell Historic District (89001170) was listed in the National Register in September 1989 under the Fort Mitchell MPS (64500230), which was approved in July 1989. The district was listed under Criterion C as an important example of an early twentieth-century high-style residential architecture intended for wealthier families in Fort Mitchell and Kenton County. The Period of Significance is circa 1900 to circa 1935. The district is characterized by large lot sizes and a verdant landscape. A significant setback from the road is maintained throughout the area, giving the community a park-like appearance.

According to the nomination form, the neighborhood includes high-end representations of significant architectural styles and types, such as the American Foursquare, Craftsman, Colonial Revival, and Tudor Revival, in addition to “fine representations of locally rare styles including the Mission Revival, Italian Renaissance, French Eclectic, Spanish Eclectic, and Prairie modes.”²⁷⁸ The nomination form also notes

²⁷⁸ Margaret Warminski, “Old Fort Mitchell Historic District,” *Nomination to the National Register of Historic Places*, Listed in 1989, Section 8-1.

that the district is eligible under Criterion A for community planning and development but does not develop that theme in detail, other than to briefly discuss the community's origins as an early twentieth century streetcar suburb. The district's boundaries excluded the middle-class Tudor Revival architecture of East Fort Mitchell, across Dixie Highway, as well as commercial architecture along Dixie Highway. The Fort Mitchell Country Club, which was founded in 1904, is an important community icon that was excluded from the original NRHP nomination due to its age at the time of listing. The club suffered a devastating fire in 1970 and was quickly rebuilt by 1971.



Plate 160. Looking NE at the Fred Hilker House (KEFM-222) at 36 West Orchard Road.



Plate 161. Fritz House (KEFM-220), 20 West Orchard Road, looking NE.



Plate 162. Simrall House (KEFM-211), 110 Ridge Road, looking NE.

NRHP Eligibility: Listed

The Old Fort Mitchell Historic District retains its significance and integrity to continue to be recommended eligible for the NRHP. The NRHP boundaries appear to be intact and reasonable, based upon the context developed. While this study does not recommend including the Fort Mitchell Country Club to the current NRHP boundary, this should be evaluated as part of the NRHP boundaries for Old Fort Mitchell in future survey efforts. See **Figure 67** below for the NRHP boundary map.

Effects Assessment: No Effects

The Old Fort Mitchell Historic District will experience No Effects from the proposed project. Within the Fort Mitchell Historic District, for the NRHP-contributing buildings fronting on W. Maple Avenue closest to Dixie Highway and facing southwest toward I-71/I-75, the original construction of I-71/I-75 has already compromised their integrity of feeling, setting, and association to some degree, and the interstate is an existing visual intrusion. The proposed new construction may place the interstate somewhat closer to the district although no new right-of-way needs to be acquired from the properties within the Fort Mitchell Historic District. For the remainder of the properties within the Fort Mitchell Historic District, there should be no negative visual impact due to intervening distance and screening provided by existing buildings and vegetation. This district should also not be directly impacted in any other way by the proposed construction activities.

Field Site 183

Beechwood Historic District
KE-012
Circa 1890 – Circa 1935
Fort Mitchell, Kentucky
39.055272, -84.551003



Plate 163. Looking south at the west side of Beechwood Road. 43 Beechwood Road is in the foreground.

Description:

The Beechwood Historic District (89001168) was listed in the National Register in September 1989 under the Fort Mitchell MPS (64500230), which was approved in July 1989. The district was listed under Criterion C as an important area, associated with the historic core of South Fort Mitchell, and includes a diverse collection of high-style and middle-class domestic architecture from the late nineteenth century through the 1930s. Important styles and types represented include the American Foursquare, Tudor Revival, Colonial and Neo-Classical Revival, and a few earlier late Victorian-era farmhouses. The sole non-domestic building in the district was the circa 1926 Beechwood School. This building was being demolished during this survey effort by the Beechwood Independent School District. The district is characterized by large-to-medium lot sizes and a verdant landscape. A significant setback from the road is maintained throughout the area, giving the community a park-like appearance.



Plate 164. Beechwood Elementary School, looking NE. The new school building is on the right in this photo. The remains of the circa 1926 school is located in the left of this photo. The school was demolished by the Beechwood Independent School District.



Plate 165. Looking north along Dixie Highway from the corner of Woodlawn Avenue. 2226 Dixie Highway is in the foreground.



Plate 166. Looking NE at 16 Woodlawn Avenue. This bungalow is representative of early twentieth century middle-class housing in the Beechwood Historic District, most of which is located on Woodlawn Avenue or the east side of Beechwood Road.

NRHP Eligibility: Listed/ Eligible

The Beechwood Historic District remains eligible for listing in the NRHP. It retains its basic design, materials/workmanship, setting, feeling, association that convey its significance as an important early twentieth century neighborhood which formed the core of historic South Fort Mitchell. The loss of the only institutional building included in the district does reduce its integrity but not enough to determine it not eligible.

The historic architectural survey team inspected the NRHP boundaries for this district, especially as they related to areas in close proximity to the proposed work. There are no recommended changes to the district boundaries that would fall into this category. KE-920, 4 Page Road and KE-919, 2 Page Road were examined for inclusion but determined to be either outside the Period of Significance (1890 – 1935) for the district or too altered to be included. The area at the end of Woodlawn Avenue was also examined. As it is not in close proximity to the project area, NRHP boundary changes are not recommended at this time; however, it is recommended that this area be thoroughly surveyed as it appears to have integrity and possible significance for inclusion on the Beechwood District.

Effects Assessment: No Effects

The Beechwood Historic District will experience No Effects from the proposed project. There should be no negative visual impact due to intervening distance and screening provided by existing buildings. This district should also not be directly impacted in any other way by the proposed construction activities.

Field Site 185

Elberta Apartments Historic District

KE-07 - KE-08 (KE-964, KE-953, KE-954, KEC-459, and KE-984)

Circa 1948-1972

1132-1141 Cedar Ridge Lane; 1200-1220 Elberta Circle; 1188-1212 Far Hills Drive; 502-517 St. Joseph Lane

Park Hills, Kentucky 41011

39.064147, -84.526113 (central point)



Plate 167. Courtyard at Elberta Circle, looking northwest

Description:



The mid-to-late twentieth century former Elberta Apartments consist of a 1960s-era apartment leasing office building and thirty-two (32) multi-unit apartment buildings of four (4) different types arranged in approximately four (4) clusters along each of its main roads (Cedar Ridge Lane, Elberta Circle, Far Hills Drive, and St. Joseph Lane). Only the individual apartment buildings 1200 Elberta Circle, 502-505 St. Joseph Lane and 1132-1134 Cedar Ridge Lane are within the APE and have individual narratives included within the report inventory; however, Elberta Apartments is evaluated here as a potential historic district and its associated two KHC group forms as referenced in the heading provide supplemental information including KHC survey numbers, addresses, types, and photos for each building within the complex. For the purposes of documentation, and in coordination with the KHC Survey Coordinator, Elberta Apartments was organized into two groups – the first group number (KE-07) was assigned to the apartment buildings constructed from circa 1948 through 1955 and the second group number (KE-08) was assigned to the remainder of the buildings constructed post-1955. Most of the former Elberta



Apartments are currently operated as Cedar Ridge Apartments; however, some sections, such as a portion of Far Hills Drive, are owned by New Foundations Sober Living Housing. The apartment building clusters decrease in age moving northeast from St. Joseph Lane and, as such, the oldest apartment buildings are those on St. Joseph Lane and the most recent apartment buildings are those along Cedar Ridge Lane. Two of the apartments along St. Joseph Lane appear to have been built in the late 1940s (by 1950) followed by the remainder along St. Joseph Lane, Elberta Circle, and a portion of Far Hills Lane by 1955. The rest of the apartments along Far Hills Lane were built by the 1960s. Finally, the apartments along Cedar Ridge Lane were built in the 1960s and 1970s.

Eighty-two (82) percent of the buildings, as reflected in **Table 8**, are H-shaped, three story, brick veneer apartment buildings (Type A) with Art Deco features such as triple belt courses of narrow contrasting concrete block or contrasting brick veneer extending horizontally across each story at window level and a tall, vertically oriented glass block multi-story window for central stairwell lighting. The remaining types of apartment buildings (Type A, short axis variant; Types B-C) have no more than a few examples each within Elberta Apartments and are described in **Table 8**. The 1960s apartment leasing office building is considered part of Elberta Apartments, but is not an apartment building itself and, thus, is not assigned a type.

All the apartment buildings on St. Joseph Lane, and many on Elberta Circle, feature a central front entrance bay accentuated by glass block sidelights and a tall, vertically oriented, multi-story glass block window lighting the central stairwell. It is likely that these glass block elements were original features of all the Type A apartment buildings; however, the glass block sidelights have often been replaced in Type A apartment buildings elsewhere in the complex. The upper third of the multi-story glass block central stairwell windows have often been replaced with slider windows in the slightly later sections of the complex on Far Hills Drive and Cedar Ridge Lane. In at least one apartment building at 1200 Elberta Circle, the glass block window has been entirely removed and the opening narrowed for a single non-historic fixed vinyl replacement window surrounded by vinyl siding. Two (2) apartment buildings on Elberta Circle retain what appear to have been original metal Art Deco style front canopies with metal supports anchored into the façade of the building and sheltering the front door. Although it is likely that all the Type A apartments had these Art Deco canopies, only two have been preserved. These two apartment buildings also have Art Deco style, curved exterior lighting with metal accents framing the entrance door; these exterior lights may not be original to the buildings although they may be historic.

Table 8. Elberta Apartments, Building Typology

	<p>Type A (circa 1948-1960)</p> <p>Type A is the predominant apartment type (eighty-two percent) with approximately twenty-seven (27) examples. Type A is an H-shaped building oriented on its long axis and grouped around a central courtyard in the slightly later-developed sections along Elberta Circle and Far Hills Drive. Type A appears to have originally had a central front entrance with glass block sidelights, a metal canopy, and a tall glass block window spanning at least a full story lighting the central stair hall. Type A appears to have originally had a flat roof which was later replaced by either a cross gable roof or a side gable roof with hipped cross bays. In only one building, 513 St. Joseph Lane, the open area at the rear of the “H” appears to have been enclosed at some point and the roofline extended over the addition.</p>
	<p>Type A, short axis variant (circa 1955)</p> <p>Type A, short axis variant, is a distinctive single apartment building at 517 St. Joseph Lane oriented with its short axis to the street. This Type A variant retains the H-shaped footprint and basic stylistic features of Type A but is not oriented to its long axis like all the others of its type. In fact, its short axis has been embellished with slightly higher style Art Deco trim such as its projecting central rectangular entrance bay, concrete keystones above the windows and stepped geometric details at the edges of the upper story glass block window. This variant also has brick corbelled quoin details at the edges of the building and the entrance bay.</p>

	<p>Type B (circa 1965)</p> <p>Type B is a smaller, Colonial Revival-inspired, four-plex apartment building with little ornamentation. There are two examples. Type B has a T-shaped footprint with a cross gable roof and with what appear to be two apartments in each section. On the Cedar Ridge Lane parking lot side of the building is a single story, projecting, gable roof entrance bay with a single steel door. This side of the building also has an exterior brick chimney. On the opposite end of the building is a rear entrance sheltered by an aluminum awning. A narrow glass block window appears to light the rear stair hall into the gable oriented rear portion of the building.</p>
	<p>Type C (circa 1972)</p> <p>Type C is a larger, wider, more contemporary brick veneer apartment building constructed in the last stages of development for the complex. There are two examples. Type C has Shed-style architecture with alternating brick veneer and vinyl sided shed sections that project across the front of the façade in a mansard fashion. Each building is large enough to contain at least two different mailing addresses. Access to the apartment units is provided by a central stair that rises into the center of each section. Apartments have sliding glass doors opening onto stacked balconies sheltered by either an overhanging roof at the top unit or the floors of the other units which serve as roofs for the lower balconies.</p>

United States Federal Census records indicate that at least two of the first buildings in Elberta Apartments had been completed by 1950.²⁷⁹ A historic USGS topographic map from 1953 indicates that 505, 509, 513, and 517 St. Joseph Lane have been constructed and that four small lakes were located at the end of the road at that time.²⁸⁰ The future Elberta Circle was a dirt road in 1953. *The Kentucky Post and Times-Star* ran an article about Elberta Apartments on April 1, 1954, noting that “One of the largest - if not the largest - private multiple family dwelling developments in northern Kentucky is located at the

²⁷⁹ U.S. Federal Census 1950.

²⁸⁰ United States Geological Survey Topographic Map, Covington, KY Quadrangle, 1953.

end of St. Joseph Lane, off Dixie Highway, in Park Hills.”²⁸¹ At that time eighteen (18) buildings with twelve units each had been completed along St. Joseph Lane and Elberta Circle and the article indicated that two more buildings were underway. Fishing and swimming lakes south of Elberta Circle as well as the thoughtful inclusion of fenced-in children’s play areas with benches, a playground, playhouse, sand boxes, and a basketball court were indicators of developer Lawrence Dickman’s “unwritten law” that children were “welcome” at Elberta Apartments at a time when other landlords frowned upon admitting tenants with children.²⁸²

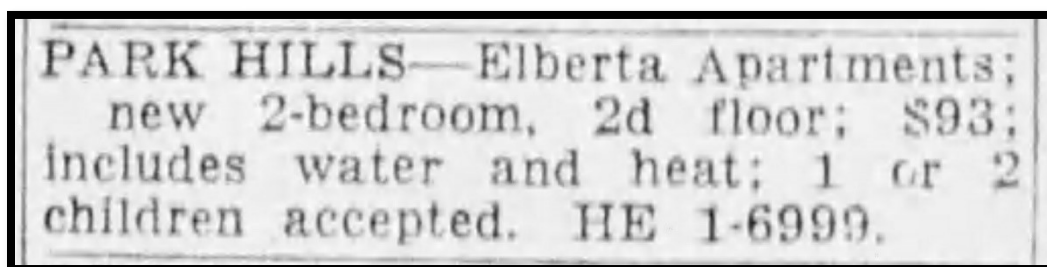


Figure 69. 1956 Advertisement for Elberta Apartments noting that children were accepted²⁸³

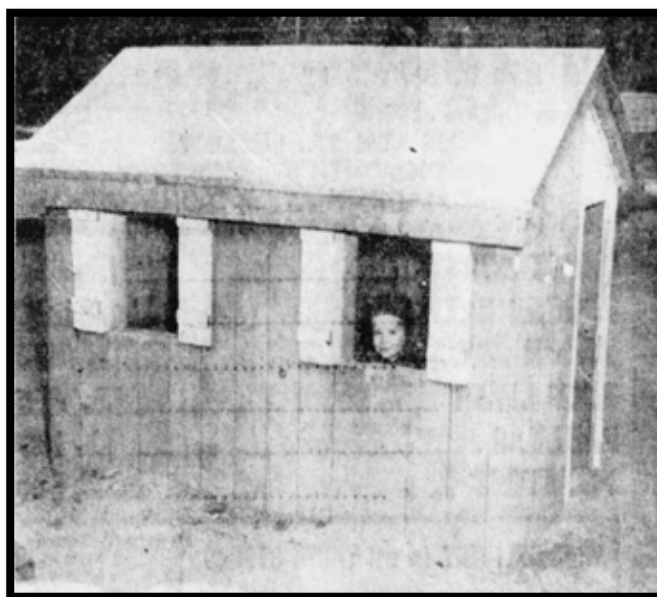


Figure 70. Eugene Dickman, son of Joseph Dickman, in Elberta Apartments playhouse²⁸⁴

²⁸¹ *The Kentucky Post (Covington, Kentucky)*, “Park Hills Development,” Thursday, April 1, 1954, p. 24, accessed online via Newspapers.com July 2022 at: <https://www.newspapers.com/image/760745273>.

²⁸² Ibid.

²⁸³ *The Kentucky Post (Covington, Kentucky)*, “Park Hills-Elberta Apartments” advertisement, Friday, April 20, 1956, p. 12, accessed online via Newspapers.com July 2022 at: <https://www.newspapers.com/image/760802703>.

²⁸⁴ *The Kentucky Post (Covington, Kentucky)*, “Park Hills Development,” Thursday, April 1, 1954, p. 24, accessed online via Newspapers.com July 2022 at: <https://www.newspapers.com/image/760745273>.

The 1950 census lists apartment building numbers 55 and 57 on St. Joseph Lane, indicating there were at least two apartment buildings that had been built by that time (likely current 505 and 509 St. Joseph Lane); however, the apartment buildings were renumbered sometime around 1954. By 1955, twenty (20) buildings had been completed including: 502, 504, 505, 508, 509, 512, 513, and 517 St. Joseph Lane; 1211-1220 Elberta Circle (four buildings); 1200, 1203, 1204, 1207, 1208, and 1212 Elberta Circle; and 1208 and 1212 Far Hills Drive.²⁸⁵ Four more buildings were built on Far Hills Drive by 1956, and two more on the same street were completed by 1960 (Buildings 1188-1199). By 1970, four more buildings were built on Cedar Ridge Lane. This brings the complex to thirty (30) buildings built by 1970. Based on historic aerial maps of this area, the two most recent apartment buildings on Cedar Ridge Lane were built after 1970 and prior to 1984.



Figure 71. Elberta Apartments, Elberta Circle looking north, showing former lake²⁸⁶

²⁸⁵ 1955 Aerial

²⁸⁶ *The Kentucky Post (Covington, Kentucky)*, "Park Hills Development," Thursday, April 1, 1954, p. 24, accessed online via Newspapers.com July 2022 at: <https://www.newspapers.com/image/760745273>.

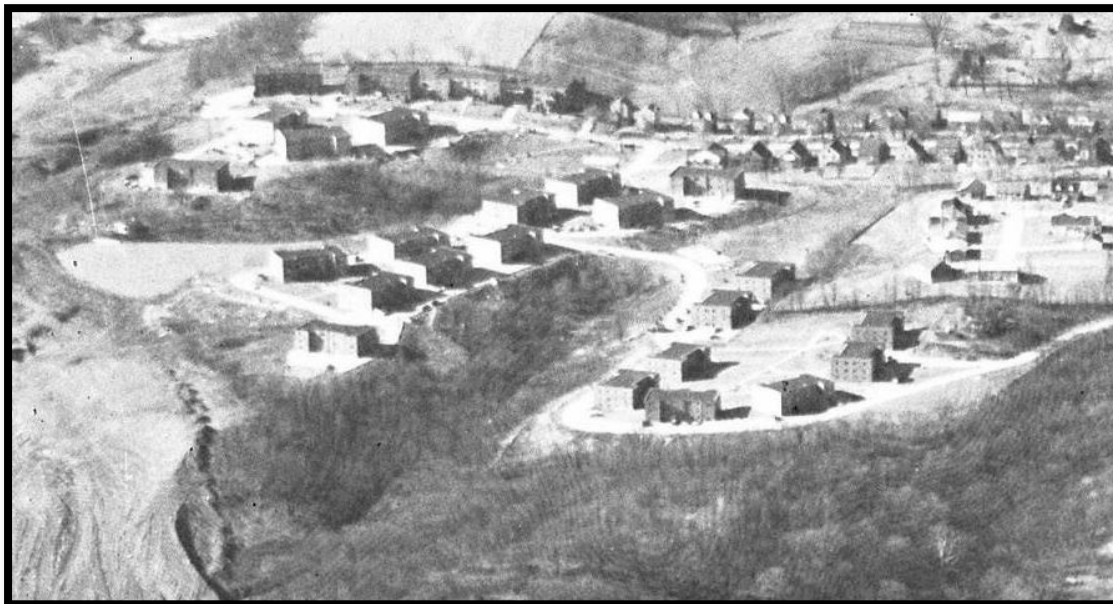


Figure 72. Elberta Apartments, 1959 Aerial Photo, looking southwest²⁸⁷

As early as 1942, Lawrence and his wife Marian and four sons, Richard, James, Robert, and Thomas lived at 43 St. Joseph Lane in Sunny Heights, later called Park Hills. George Dickman Sr. and Marian Dickman lived nearby at 28 St. Joseph Lane, likely present day 622 St. Joseph Lane.²⁸⁸ In 1946, George Dickman Sr. (1869-1963) filed articles of incorporation for Elberta Apartments Inc. with his son Lawrence J. Dickman (1902-1956), and four daughters Marie Dickman, Stella Zembrodt, Irene Wachs, Evelyn Glatting [Glatting], and Delores Pfetzer.²⁸⁹ The incorporation intended to purchase, sell, rent, lease, and pursue improvement of landed properties. The charter was granted for \$75,000 later that year.²⁹⁰ George and his son Lawrence owned their own tailor business as well as had rental properties. Lawrence Dickman appears to have been the primary developer of Elberta Apartments based on a 1954 article stating that, “Lawrence J. Dickman, contractor, whose home is at Elberta and St. Joseph, has developed the project.”²⁹¹

²⁸⁷ Image di128214, Lawrence Brand Collection, Kenton County Library Faces and Places, accessed online July 2022 at: <https://facesandplaces.kentonlibrary.org/viewimage.php?i=di128214>.

²⁸⁸ WWII draft card; 1943 skating article.

²⁸⁹ *The Cincinnati Enquirer*, “Charter is Requested by Apartment Firm,” March 6, 1946, <https://www.newspapers.com/image/103444011/?terms=%22elberta%20apartments%20inc.%22&match=1> (accessed July 7, 2022); *The Cincinnati Enquirer*, “George Dickman, Tailor, Developer,” February 15, 1963, <https://www.newspapers.com/image/103745447/?terms=%22elberta%20apartments%20inc.%22&match=1> (accessed July 7, 2022).

²⁹⁰ *The Courier-Journal*, “State Charters Granted,” March 10, 1946, <https://www.newspapers.com/image/108394798/?terms=%22elberta%20apartments%20inc.%22&match=1> (accessed July 7, 2022).

²⁹¹ *The Kentucky Post (Covington, Kentucky)*, “Park Hills Development,” Thursday, April 1, 1954, p. 24, accessed online via Newspapers.com July 2022 at: <https://www.newspapers.com/image/760745273>.

By the U.S. Federal Census of 1950, members of the Dickman family were living at various buildings on St. Joseph Lane. George Dickman Sr. was eighty years old and was no longer working by 1950; however, his daughter Marie lived with him at the downstairs apartment 28 St. Joseph Lane, and worked as a seamstress, likely at the family tailoring business. Marie Dickman also worked as the property manager.²⁹² Lawrence J. Dickman continued to live at 43 St. Joseph Lane and was listed as a building contractor, presumably taking over the family's construction business. Irene lived with her husband Richard and children at upstairs in the rear apartment at 28 St. Joseph Lane. Evelyn Glattig [Glateing] lived with her husband Frank and daughter at upstairs front apartment in the same building.²⁹³ In later years, the Elberta Apartments were divided among the Dickman heirs, and some are still owned by descendants of the original owners.

Demonstrating the community nature of Elberta Apartments, an article from 1958 titled, "Elberta Wins Feldhaus Title" is the first indication that Elberta Apartments had its own sports team. The article indicates that, "Elberta Apartments, Park Hills, defeated the Firefighters, 68-48, Wednesday night in the Cheviot Memorial Fieldhouse for the championship of the Feldhaus Industrial League" and that "The Dickman brothers [Bob, Tom, and Jim] accounted for 48 of the winners' points."²⁹⁴ The Dickmans in this article are developer Lawrence Dickman's sons and George Dickman Sr.'s grandsons. By 1959, several articles indicate that Elberta Apartments also had a softball team that regularly played against various other teams in the "Bluegrass Major League."²⁹⁵



Plate 168. Left, St. Joseph Lane, Original Glass Block Sidelights, Multi-Story Glass Block Stairwell Window, and Steel Casement Windows; Right, Elberta Circle, Original Metal Front Canopy and Lighting

²⁹² Covington, Kentucky, City Directory, "Marie J. Dickman," 1954, page 111, https://www.ancestry.com/discoveryui-content/view/776435582:2469?tid=&pid=&queryId=364c7cdbebec9d62b00fc28b6fe6ec0f&_phsrc=iWH1461&_phstart=successSource (accessed July 7, 2022).

²⁹³ U.S. Federal Census 1950

²⁹⁴ *The Kentucky Post (Covington, Kentucky)*, "Elberta Wins Feldhaus Title," Thursday, March 20, 1958, p. 29, accessed online via Newspapers.com July 2022 at: <https://www.newspapers.com/image/761076024>.

²⁹⁵ *The Kentucky Post and Times-Star*, "Tuesday Softball," (Covington, Kentucky), Tuesday, June 16, 1959, p. 5, accessed online via Newspapers.com July 2022 at: <https://www.newspapers.com/image/761078772>.



Plate 169. Courtyard at Far Hills Drive, looking east



Plate 170. Apartment Leasing Office on Far Hills Drive, looking northeast

NRHP Eligibility: Eligible

Elberta Apartments is recommended *Eligible* for listing as a district in the NRHP at the local level under Criterion A in the area of significance Community Planning and Development with a period of significance encompassing its period of development from the late 1940s through the 1970s and with its leasing office building as well as all of its thirty-two (32) apartment buildings being contributing elements. As a large, planned, post-World War II apartment community that helped resolve the housing crisis after World War II, the Elberta Apartments Historic District demonstrates the importance of the development of multi-family rental housing in the Cincinnati-Northern Kentucky metropolitan area. Additionally, as its development continued from the late 1940s into the 1970s and it stayed primarily within the same family for years, the Elberta Apartments Historic District illustrates more subtle changes over time spurred by changing FHA design standards. Additionally, Elberta Apartments was rather unique and progressive as an apartment community. Its developers and their family members demonstrated their investment in Elberta Apartments as a community through living in their own apartment buildings, encouraging their children to play on the same sports teams as other families in the apartment complex, and directing their advertising toward families with children.

Per the National Register nomination for Lynn Acres Garden Apartments in Louisville, Robert Schafer pointed out that “. . . the rise in multi-family housing starts in 1948-50 was entirely the result of federal financial assistance under Section 608 [of the National Housing Act of 1942].”²⁹⁶ Although this level of research was beyond the scope of the current survey and it cannot be conclusively proven that the Dickman family utilized this Federal Housing Administration loan program to finance the construction of Elberta Apartments, it is suspected to be the case. Much like Lynn Acres, the construction of Elberta Apartments was phased over years rather than all thirty-two apartment buildings being built at the same time. Although it has a long period of development, there were pauses between the construction of subsequent sections of Elberta Apartments which may have been due to materials shortages, financial constraints, or changing federal regulations.

Under Criterion B, Elberta Apartments’ developer Lawrence Dickman, as well as most of the Dickman family in the Park Hills area, lived at or nearby Elberta Apartments themselves and were certainly known and actively involved in their community. Although this is the case, research did not indicate that the Dickman family achieved outstanding significance either at the local, state, or national level. As such, Elberta Apartments is not recommended eligible for listing in the NRHP under Criterion B.

Under Criterion C, and as noted above, many of the buildings within the proposed Elberta Apartments Historic District have changed over time such that their individual architectural integrity has been somewhat diminished despite this apartment community preserving a high level of integrity in its building form, layout, and landscape features. As it relates to the individual architectural integrity of the contributing buildings to the proposed Elberta Apartment Historic District, glass block sidelights have often been replaced in Type A apartment buildings throughout in the complex. The upper third of the

²⁹⁶ Rachel M. Kennedy and Joanne Weeter with Emily Skinner, Lynn Acres Garden Apartments, National Register of Historic Places. National Register ID # 15000083. Approved 2015.

multi-story glass block central stairwell windows have often been replaced with slider windows in the slightly later sections of the complex on Far Hills Drive and Cedar Ridge Lane. In at least one apartment building at 1200 Elberta Circle, the glass block window has been entirely removed and the opening narrowed for a single non-historic fixed vinyl replacement window surrounded by vinyl siding. Although it is likely that all the Type A apartments had Art Deco canopies over their front entrances with associated Art Deco lighting, these Art Deco elements have only been preserved in two buildings. As such, the Elberta Apartments Historic District is not recommended eligible for listing in the NRHP under Criterion C.



Figure 73. Elberta Apartments Historic District, Recommended NRHP Boundary Map with Color-Coded Locations of KHRI Group Numbers KE-07 and KE-08.

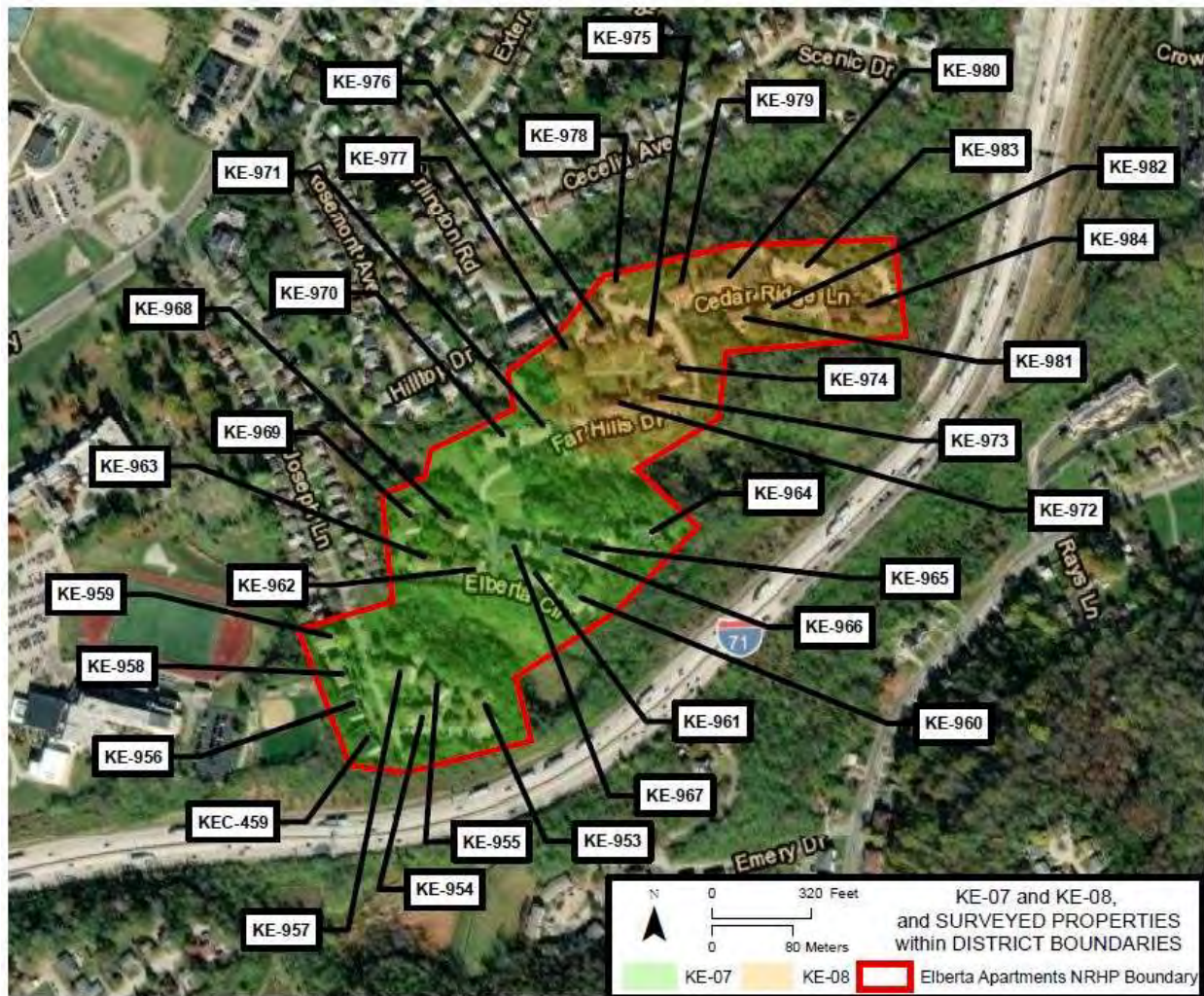


Figure 74. Elberta Apartments Historic District, Site Plan Map with Recommended NRHP Boundary and Color-Coded Locations of KHRI Group Numbers KE-07 and KE-08.

Effects Assessment: No Adverse Effect

This proposed Elberta Apartments Historic District will experience No Adverse Effect from the proposed project. Although the newly acquired permanent easement would encroach on the proposed NRHP boundary for the proposed Elberta Apartments Historic District and place the right-of-way itself directly adjacent to Elberta Apartments buildings at KE-953/502 St. Joseph Lane, KEC-459/505 St. Joseph Lane, and KE-964/1200 Elberta Circle, portions of the existing right-of-way are already close to these apartment buildings. Neither the proposed permanent easement acquisition nor the drainage pipe installation, a very small portion of which is within the proposed NRHP district in the St. Joseph Lane area, would result in permanent direct or indirect impacts to the historic integrity of the proposed Elberta Apartments Historic District. None of the apartment buildings are required to be demolished as part of the easement acquisition or the installation of drainage pipe within the existing right-of-way. Although some retaining wall construction is proposed within existing right-of-way closer to the

interstate outside the proposed NRHP boundary and should have minimal visibility from the proposed Elberta Apartments Historic District.

Elberta Apartments - Recommended Contributing/Noncontributing Properties

Within the APE for this undertaking, the following field sites are recommended contributing to the Elberta Apartments Historic District. These include: FS 102/KE-964, FS 103/KE-953, FS 104/KE-954, FS 105/KE-459, and FS 232/KE-984. Effects for these contributing properties are discussed in the associated historic district’s Effects Assessment above.

In addition to the field sites within the APE as listed above, the remaining buildings within the recommended NRHP boundary for the proposed Elberta Apartments Historic District were documented in a reconnaissance fashion for its group forms as KE-07 and KE-08, respectively. Whether inside or outside the APE for this undertaking, all buildings documented within the recommended NRHP boundary for the proposed Elberta Apartments Historic District are recommended eligible for listing in the NRHP as contributing elements to the historic district.

Table 9. All Historic Resources Surveyed within Elberta Apartments Historic District Group KE-07

Within or Outside APE	KHC Survey #	FS # if Applicable	Name (if known) Address	Description/Type
Within APE	KE-953	FS 103	502 St. Joseph Lane	Apartment Bldg.
Within APE	KE-954	FS 104	504 St. Joseph Lane	Apartment Bldg./Type A
Within APE	KEC-459	FS 105	505 St. Joseph Lane	Apartment Bldg./Type A
Outside APE	KE-955	N/A	508 St. Joseph Lane	Apartment Bldg./Type A
Outside APE	KE-956	N/A	509 St. Joseph Lane	Apartment Bldg./Type A
Outside APE	KE-957	N/A	512 St. Joseph Lane	Apartment Bldg./Type A
Outside APE	KE-958	N/A	513 St. Joseph Lane	Apartment Bldg./Type A
Outside APE	KE-959	N/A	517 St. Joseph Lane	Apartment Bldg./Type A, short axis variant
Within APE	KE-964	FS 102	1200 Elberta Circle	Apartment Bldg./Type A
Outside APE	KE-960	N/A	1203 Elberta Circle	Apartment Bldg./Type A
Outside APE	KE-965	N/A	1204 Elberta Circle	Apartment Bldg./Type A
Outside APE	KE-961	N/A	1207 Elberta Circle	Apartment Bldg./Type A
Outside APE	KE-966	N/A	1208 Elberta Circle	Apartment Bldg./Type A
Outside APE	KE-962	N/A	1211 Elberta Circle	Apartment Bldg./Type A
Outside APE	KE-970	N/A	1212 Elberta Circle	Apartment Bldg./Type A
Outside APE	KE-963	N/A	1215 Elberta Circle	Apartment Bldg./Type A
Outside APE	KE-968	N/A	1216 Elberta Circle	Apartment Bldg./Type A
Outside APE	KE-969	N/A	1220 Elberta Circle	Apartment Bldg./Type A

Outside APE	KE-971	N/A	1208 Far Hills Drive	Apartment Bldg./Type A
Outside APE	KE-970	N/A	1212 Far Hills Drive	Apartment Bldg./Type A

Table 10. All Historic Resources Surveyed Within Elberta Apartments Historic District Group KE-08

Within or Outside APE	KHC Survey #	FS # if Applicable	Name (if known) Address	Description/Type
Within APE	KE-984	FS 232	1132-1134 Cedar Ridge Lane	Apartment Bldg./Type C
Outside APE	KE-983	N/A	1135-1137 Cedar Ridge Lane	Apartment Bldg./Type C
Outside APE	KE-982	N/A	1136 Cedar Ridge Lane	Apartment Bldg./Type B
Outside APE	KE-981	N/A	1138 Cedar Ridge Lane	Apartment Bldg./Type B
Outside APE	KE-980	N/A	1139 Cedar Ridge Lane	Apartment Bldg./Type A
Outside APE	KE-979	N/A	1141 Cedar Ridge Lane	Apartment Bldg./Type A
Outside APE	KE-974	N/A	1188 Far Hills Drive	Apartment Bldg./Type A
Outside APE	KE-975	N/A	1190 Far Hills Drive	Apartment Bldg./Type A
Outside APE	KE-973	N/A	1192 Far Hills Drive	Apartment Bldg./Type A
Outside APE	KE-976	N/A	1195 Far Hills Drive	Apartment Bldg./Type A
Outside APE	KE-972	N/A	1196 Far Hills Drive	Apartment Bldg./Type A
Outside APE	KE-978	N/A	1198 Far Hills Drive	Apartment Leasing Office
Outside APE	KE-977	N/A	1199 Far Hills Drive	Apartment Bldg./Type A

Field Site 102

Contributing to Elberta Apartments

Apartment Building

KE-964

Circa 1955

1200 Elberta Circle

Covington, KY ZIP

39.063318, -84.525418



Plate 171. Apartment Building, looking east.

Description:

This apartment building is a three story dark red brick veneer building constructed circa 1955. It was part of the Elberta Apartments complex (see KE-07 and KE-08) developed by the Dickman Family. This building is characterized by the narrow, triple, horizontal contrasting concrete block bands on each story at window level, an asphalt shingle side gable roof, and an H-shaped plan. The asphalt shingle gable roof is higher at the gable ends than in the center section. The fenestration pattern is W-W-W-D-W-W-W. Windows consist of picture windows flanked by sliding vinyl windows, paired sliding vinyl windows, and glass block windows. A fixed, 30 light window is located over the main entrance and is surround by vinyl siding. The main entrance is a panel door flanked by sidelights, set on a concrete stoop, and sheltered under a fabric awning. The foundation is concrete.



Plate 172. Apartment Building, looking west.

NRHP Eligibility: Contributing – Elberta Apartments Historic District

This property is recommended as a contributing element to the proposed Elberta Apartments Historic District, recommended Eligible under Criterion A in the area of significance Community Planning and Development since it was built within the period of significance and contributes to the historic integrity of design, workmanship, materials, location, feeling, setting, and association of Elberta Apartments, reflecting its previously described character-defining features as a twentieth century apartment community. Although this building is not recommended individually eligible, its historic integrity has been somewhat diminished by window replacements and the narrowing of its dominant central, glass block stairway window opening for a modern, fixed, thirty-light replacement window which has been framed in and vinyl sided around it. Additionally, it is suspected that an Art Deco front entrance canopy was replaced with a later fabric awning. The building retains its basic H-shaped footprint, its characteristic brick veneer siding with multiple horizontal bands of contrasting brick veneer, its window and door openings, its primary central front entrance, and its association with its contemporary apartment buildings.

Field Site 103

Contributing to Elberta Apartments

Apartment Building

KE-953

Circa 1955

502 St. Joseph Lane

Covington, KY 41011

39.061852, -84.527302



Plate 173. Apartment Building, looking north.

Description:

This apartment building is a three story dark red brick veneer building constructed circa 1955. It was part of the Elberta Apartments complex (see KEC-459) developed by the Dickman Family. This building is characterized by the thin, horizontal painted white concrete block bands that run through the windows, a hipped gable roof, a H-shaped plan, and glass block windows. The center of the roof is an asphalt shingle gable roof and the ends are capped by a hipped asphalt shingle roof. The fenestration pattern is W-W-W-D-W-W-W. The windows are vinyl picture windows flanked by 1/1 vinyl double hung windows, single 1/1 vinyl double hung windows, and glass block diamond shaped windows. A fixed, 60 light glass block window is located over the main entrance door. The main entrance is a panel door with six lights flanked by glass blocks, set on a concrete stoop, and sheltered under a gable porch roof supported by slender columns. The foundation is concrete.



Plate 174. Apartment Building, looking northeast.

NRHP Eligibility: Contributing – Elberta Apartments Historic District

This property is recommended as a contributing element to the proposed Elberta Apartments Historic District, recommended Eligible under Criterion A in the area of significance Community Planning and Development since it was built within the period of significance and contributes to the historic integrity of design, workmanship, materials, location, feeling, setting, and association of Elberta Apartments, reflecting its previously described character-defining features as a twentieth century apartment community. Although this building is not recommended individually eligible, its historic integrity has been somewhat diminished by window replacements and the suspected replacement of an Art Deco front entrance canopy with a later gable roof porch. The building retains its basic H-shaped footprint, its characteristic brick veneer siding with multiple horizontal bands of contrasting brick veneer, its dominant central glass block stairway window, its window and door openings (including glass block front door transom and sidelights), its primary central front entrance, and its association with its contemporary apartment buildings.

Field Site 104

Contributing to Elberta Apartments

Apartment Building

KE-954

Circa 1955

504 St. Joseph Lane

Covington, KY 41011

39.061829, -84.528031



Plate 175. Apartment Building, looking south.

Description:

This apartment building is a three story light beige brick veneer building constructed circa 1955. It was part of the Elberta Apartments complex (see KEC-459) developed by the Dickman Family. This building is characterized by thin, horizontal painted red concrete bands that run through the windows, a hipped gable roof, a H-shaped plan, and glass block windows. The center of the roof is an asphalt shingle gable roof and the ends are capped by a hipped asphalt shingle roof. The fenestration pattern is W-W-W-D-W-W-W. The windows are metal picture windows flanked by four-light casement style windows, of which the lower three lights are operable, single and paired four-light metal casement style windows. A fixed, 60 light glass block window is located over the main entrance door. The main entrance is a metal door with two lights flanked by glass blocks, set on a concrete stoop, and sheltered under a gable porch roof supported by slender columns. The foundation is concrete.



Plate 176. Apartment Building, looking northeast.

NRHP Eligibility: Contributing – Elberta Apartments Historic District

This property is recommended *Eligible* for listing in the NRHP as a contributing element to the proposed Elberta Apartments Historic District, recommended Eligible under Criterion A in the area of significance Community Planning and Development since it was built within the period of significance and contributes to the historic integrity of design, workmanship, materials, location, feeling, setting, and association of Elberta Apartments, reflecting its previously described character-defining features as a twentieth century apartment community. Although this building is not recommended individually eligible, its historic integrity has been somewhat diminished by the suspected replacement of an Art Deco front entrance canopy with a later gable roof porch. The building retains its basic H-shaped footprint, its characteristic brick veneer siding with multiple horizontal bands of contrasting brick veneer, its dominant central glass block stairway window, its metal picture windows with casements, its glass block front door transom and sidelights, its primary central front entrance, and its association with its contemporary apartment buildings.

Field Site 105

Contributing to Elberta Apartments

Apartment Building
KEC-459
Circa 1950
505 St. Joseph Lane
Covington, KY 41011
39.061606, -84.528639



Plate 177. Apartment Building, looking southwest.

Description:

This apartment building is a three story brown brick veneer building constructed circa 1955. It was part of the Elberta Apartments complex (see KE-07 and KE-08) developed by the Dickman Family. This building is characterized by thin, horizontal concrete bands that run through the windows, a flat roof, a H-shaped plan, and glass block windows. The fenestration pattern is W-W-W-D-W-W-W. The windows are vinyl picture windows flanked by sliding windows, vinyl 1/1 double hung windows, diamond patterned glass block windows, and 15 light glass block windows. A fixed, 60 light glass block window is located over the main entrance door. The main entrance is a metal door with six lights flanked by glass blocks, set on a concrete stoop, and sheltered under a gable porch roof supported by slender columns. The foundation is concrete. This property was last surveyed as KEC-459 in December 2006 and determined eligible but an incorrect address of 509 St. Joseph Lane was used at that time rather than its correct address of 505 St. Joseph Lane as reflected by the Kenton County PVA.



Plate 178. Apartment Building, looking north.

NRHP Eligibility: Eligible/Contributing - Elberta Apartments Historic District

This property was determined *individually Eligible* for listing in the NRHP in 2009. While it continues to be recommended Eligible, this property is now recommended *Eligible* for listing in the NRHP as a contributing element to the proposed Elberta Apartments Historic District, recommended Eligible under Criterion A in the area of significance Community Planning and Development since it was built within the period of significance and contributes to the historic integrity of design, workmanship, materials, location, feeling, setting, and association of Elberta Apartments, reflecting its previously described character-defining features as a twentieth century apartment community. Although this previously documented building is not recommended individually eligible, its historic integrity has been somewhat diminished by vinyl replacement windows and the suspected replacement of an Art Deco front entrance canopy with a later gable roof porch. The building retains its basic H-shaped footprint, its characteristic brick veneer siding with multiple horizontal bands of contrasting brick veneer, its dominant central glass block stairway window, its glass block front door sidelights, its primary central front entrance, and its association with its contemporary apartment buildings.

Field Site 232

Contributing to Elberta Apartments

Apartment Building

KE-984

Circa 1972

1132-1134 Cedar Ridge Lane

Park Hills, KY 41011

39.065274, -84.52287



Plate 179. Apartment building, looking southeast

Description:

The 1970s apartment building at 1132-1134 Cedar Ridge Lane is a wide, contemporary brick veneer apartment building constructed in the last stages of development for the Elberta Apartments complex (see KE-07 and KE-08). There are only two buildings in the complex of this type and only this one is within the APE. The apartment building has shed style architecture with alternating brick veneer and vinyl sided shed sections that project across the front of the façade in a mansard fashion. The building is large enough to contain two different mailing addresses. Apartments have slider windows as well as sliding glass doors opening onto stacked balconies sheltered by either an overhanging roof at the top unit or the floors of the other units which serve as roofs for the lower balconies. Access to the apartment units is provided by a central stair that rises into the center of each section. Based on historic aerial maps of this area, these apartments were not built in 1970 but had been constructed by 1984.



Plate 180. Apartment building, looking east

NRHP Eligibility: Eligible

This property is recommended *Eligible* for listing in the NRHP as a contributing element to the proposed Elberta Apartments Historic District, recommended *Eligible* under Criterion A in the area of significance Community Planning and Development since it was built within the period of significance and contributes to the historic integrity of design, workmanship, materials, location, feeling, setting, and association of Elberta Apartments, reflecting its previously described character-defining features as a twentieth century apartment community. Although this building is not recommended individually eligible, its historic integrity appears to have been somewhat compromised by the suspected replacement of windows and doors over time. The building preserves its original footprint, its two stairways that rise into the center of each section, stacked balconies with metal railings, and vinyl, mansard influenced shed style roofline.

Field Site 230

Highland Cemetery Historic District
KEFM-150
1869
2167 Dixie Highway
Fort Mitchell, KY 41017
39.047042, -84.546281 (central point)



Plate 181. Highland Cemetery, looking NE.

Description:

The 1869 Highland Cemetery is a large, well-maintained cemetery on an approximately 250-acre tract of land. The cemetery was designed by Adolf Strauch, head landscape gardener for the Spring Grove Cemetery in Cincinnati and renowned landscape architect.²⁹⁷ Highland Cemetery was listed in the NRHP in 1989 as the Highland Cemetery Historic District (National Register ID # 89001585) under the *Historic Resources of Ft. Mitchell, Kentucky*, MPS. The cemetery contains just over 50,000 visible grave markers ranging from “the Gothic-inspired memorials in the High Victorian era to the naturalistic ones of the late nineteenth century, Neo-Classic monuments of the early twentieth century and the Moderne stylings of the 1920s and 1930s.”²⁹⁸ According to *Find a Grave*, the earliest burial is that of Sarah Redman Sandford,

²⁹⁷ Note: Adolf is also spelled Adolph in many sources.

²⁹⁸ Margaret Warminski, NRHP Nomination for the “Highland Cemetery Historic District,” May 1989, Section 7, Page 2. Located on file at the Kentucky Heritage Council, Frankfort, Kentucky.

who died June 29, 1805, and the most modern marker is Janice Kay *Thompson* Mistler, who died in July 2022.²⁹⁹

Highland Cemetery was established during the “garden cemetery movement” beginning in the early 1800s and based on the concept of the “rural or garden cemetery, designed to resemble a park and intended to be a place of tranquility.”³⁰⁰ This movement originated in Europe and was imported to the United States in the 1830s. By the mid nineteenth century, several garden cemeteries were established throughout the country as they were viewed as the “alternative” to “older” cemeteries which were “overcrowded, frequently unsightly,” and were “potentially hazardous to the health of nearby residents.”³⁰¹ Also, as the urban core of cities were expanding outside of their original boundaries, the land these urban cemeteries occupied became “more valuable for development purposes.”³⁰² As was a national trend, older urban cemeteries began to close, the interned were moved to surrounding other cemeteries, and a “spacious new garden cemetery” was established outside city limits, at a location, which would “ensure tranquility yet close enough for practicality’s sake.”³⁰³

Highland Cemetery was incorporated on March 6, 1969 and dedicated June 29, 1869. In 1963 group of Covington civic and business leaders formed the Highland Cemetery Association to discuss the “need for a large, new rural cemetery, similar to Cincinnati’s famed Spring Grove Cemetery, to be built at some distance from the city.”³⁰⁴ This cemetery would replace the overcrowded Craig Street Cemetery, the city’s municipal cemetery located at West Sixth Street and Craig Street in the West end neighborhood of Covington. This cemetery would also serve as a burial alternative to Linden Grove Cemetery, which was also already overcrowded and soon to be closed by the city.

²⁹⁹ “Highland Cemetery Memorials,” *Find a Grave*. Accessed online July 2022 at <https://www.findagrave.com/cemetery/74378/memorial-search?orderby=d&page=1>.

³⁰⁰ *Ibid*.

³⁰¹ *Ibid*, Section 8, Page 2.

³⁰² *Ibid*.

³⁰³ *Ibid*.

³⁰⁴ *Ibid*.



Plate 182. Left: Craig Street Burying Ground.³⁰⁵ Right: Highland Cemetery (marked with red box).³⁰⁶ Note the location of the cemetery in relation to Covington.

There are eight buildings and two features associated with the cemetery. The first associated feature is the circa 1915-entry gate (B). Designed by architect David Davis, these gates replaced the original stone archway, and include two main stone entry piers, two entry gates, and fencing. The entry piers flank each side of the main drive as you enter the cemetery from the east side of the Dixie Highway. These piers, square in form, are built of rough carved mortared stone, and topped with sandstone caps, with acanthus friezes, featuring egg and vine carved reliefs and urn finials. Carved reliefs within the piers read “Highland Cemetery” and “Incorporated 1869.” Created by the Cincinnati Architectural Iron Works, the wrought iron gates and fence are of elaborate “bold” design and feature an “H” and “C” on iron shields within the center of the paired gates.³⁰⁷ Additionally, stone piers and wing walls, matching the main entry piers in material and form, are included in the design of this resource. This feature is listed as a contributing resource within the 1989 NRHP nomination.

The next resource associated with the cemetery, located immediately east of the entry gates, on the north side of the main avenue, is the office building (C). This building, built circa 1955, is a single story in height, and its asphalt-shingled roof features multiple hips and pyramids, and two exterior brick chimneys. The exterior has a brick veneer and features multiple paired and triple sets of vinyl sash windows, with 6/6 light patterns, and a full multi-light entry with matching sidelights. Scroll-sawn brackets are located within the projecting roof eaves. The NRHP nomination lists this building as a non-contributing resource. It is suspected this is due to the building not reaching the 50-year of age mark at the time the nomination was written.

To the southeast of the cemetery office, on the south side of the cemetery’s main avenue is the Superintendent’s house (D). This circa 1917, 2.5 story, three bay American-Foursquare residence features a hipped asphalt shingled roof with hipped roof dormers and in interior brick chimney. Scroll-

³⁰⁵ C.M Hopkins, *City Atlas of Covington, Kentucky*, (Philadelphia, C.M. Hopkins, C.E., 1877), 22-23.

³⁰⁶ B.N. Griffing, *An atlas of Boone, Kenton and Campbell Counties, Kentucky: from actual surveys*. Accessed online July 2022 at <https://digital.cincinnati.library.org/digital/collection/p16998coll9/id/1626>.

³⁰⁷ Margaret Warminski, NRHP Nomination for the “Highland Cemetery Historic District,” May 1989, Section 7, Page 2. Located on file at the Kentucky Heritage Council, Frankfort, Kentucky.

sawn brackets are within the projecting roof eaves and the building has a brick veneer. The foundation is veneered with concrete stucco. An entry porch, with balcony, is located on the façade's central bay. The balcony is supported by brick pilasters and piers and features a closed brick balustrade. Matching scroll-sawn brackets are also present within the porch's roof eaves. A sunroom is located on the north elevation. This room also features an upper level balcony. Both this balcony and the façade balcony, feature brick piers and wood railing. This building is listed as a contributing resource within the 1989 NRHP nomination.

East of the Superintendent's house in the rear yard, is the Bell Tower (E). Built circa 1910, this single story tower features a brick veneer matching the Superintendent's house and has a red Spanish tiled hipped roof with an open brick belfry. The bell, which was rang for funerals, is still present but no longer used. The west elevation features a pedestrian entry with a three light, two-panel wood door. This building is listed as a contributing resource within the 1989 NRHP nomination.

East of this bell tower is a circa 1980 wood frame storage shed (F). This shed has an asphalt shingled gabled roof and its exterior is clad in wood panels. This resource is not discussed within the 1989 NRHP nomination. East of this storage shed is a maintenance garage (G). This circa 1965 garage has a shallow pitched front gabled roof. This roof and its exterior are clad in vertical ribbed metal panels. The façade features a single garage opening, with overhead door, and a pedestrian entrance. This building is not discussed within the 1989 NRHP nomination.

North of the maintenance garage and east of the cemetery office, on the north side of the cemetery's main avenue is the cemetery chapel (H). Built in 1869, this Gothic Revival building has an asphalt shingled cross-gabled roof. Designed by the Cincinnati architectural firm Walters and Stewart and built of carved fieldstone, this chapel features a port-cochère, with wood open truss braced arches, located on the western section of the south elevation. The Walters and Stewart architectural firm also designed the Mother of God Catholic Church, located on West Sixth Street in Covington, Kentucky.³⁰⁸ Wood lancet-arched windows, with tracery and diamond patterned leaded glass, are located on the north and south elevations, and lancet-arched double entries and transoms, with diamond pattern leaded glass windows, are located on north, south, and east elevations. The west façade features a set of four panel entry doors, with lancet-arched transom, with a metal grated covering. This entry has a carved sandstone surround with "HIGHLAND CEMETERY RECEIVING TOMB" and an 1869 date carved within. A fire occurred in 1917, which damaged the original slate roof beyond repair, and the church was rebuilt using the "existing stone walls and diamond-paned windows of translucent art glass hues were installed into the old openings."³⁰⁹ This building is listed as a contributing resource within the 1989 NRHP nomination.

³⁰⁸ Paul Tenkotte and James Claypool, "Covington's Historic Buildings," *The Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 241.

³⁰⁹ Margaret Warminski, NRHP Nomination for the "Highland Cemetery Historic District," May 1989, Section 7, Page 2. Located on file at the Kentucky Heritage Council, Frankfort, Kentucky.

The main “focal point” of the cemetery’s landscape is a set of lakes (I) located in the center of the cemetery grounds, one to the north and one to the south³¹⁰. It is unknown if these lakes were part of Strauch’s original design. In the National Register nomination for the cemetery, Warminski states these lakes are “surrounded by mature hardwoods and fruit trees.”³¹¹ Today, only the north lake’s surrounding matches the nomination description. Smaller trees and vegetation encircle the south lake. These lakes are listed as a contributing resource within the 1989 NRHP nomination.

A second circa 1980 maintenance garage (J) is located along the central section of the cemetery’s southwest property line. This building has a side gabled roof. Its exterior and roof are clad in vertical ribbed metal panels. This building is not discussed within the 1989 NRHP nomination.

The final resource on the property is a pair circa 1975 mausoleums (K) located to the west of the chapel. These building are 2 stories in height and have flat roofs. The corners of their exteriors are clad in permastone, and the vaults are in the interior sections of the buildings. These buildings are indicated as being non-contributing resources within the 1989 NRHP nomination.

There are multiple notable markers and mausoleums present throughout the cemetery, some being the “most impressive in the northern Kentucky area.”³¹² The markers range in style and represent the “Gothic-inspired and High Victorian era,” the late nineteenth century “naturalistic” movement, and the Neo-Classic and Moderne “stylings of the 1920s and 1930s.”³¹³ These monuments range in size and style from the low profile marble tablets to tower obelisks. The most “imposing” and architecturally significant marker is the Amos Shinkle memorial, which stands approximately 40 feet in height and features an angel standing erect atop a Corinthian column resting on a massive carved base.³¹⁴ A large number of architecturally significant mausoleums are also present throughout the cemetery. Warminski stated in her nominations that the “most distinguished is the Fisk family crypt.”³¹⁵ This carved Gothic Revival building features “corner buttresses and pedimented entry portal carried by stylized columns in the Neo-Grec mode.”³¹⁶ Many of the other mausoleums throughout the cemetery are equally imposing and significant to the cemetery’s landscape and beauty.

Originally designed by Adolf Strauch, the head landscape gardener of Cincinnati’s Spring Grove Cemetery, this property was listed on the National Register of Historic Places 1989 under Criterion C as being architecturally significant as a “premier rural or garden cemetery of northern Kentucky,” with a period of significance or 1869-1917.³¹⁷

³¹⁰ Ibid, Section 7, Page 3.

³¹¹ Ibid.

³¹² Ibid, Section 7, Page 2.

³¹³ Ibid.

³¹⁴ Ibid.

³¹⁵ Ibid.

³¹⁶ Ibid.

³¹⁷ Ibid, Section 8, Page 1.



Plate 183. Highland Cemetery. Entry gates (B), looking east.



Plate 184. Highland Cemetery. Cemetery office (C), looking NE.



Plate 185. Highland Cemetery. Superintendent's house (D), looking SE.



Plate 186. Highland Cemetery. Bell tower (D), looking NE.

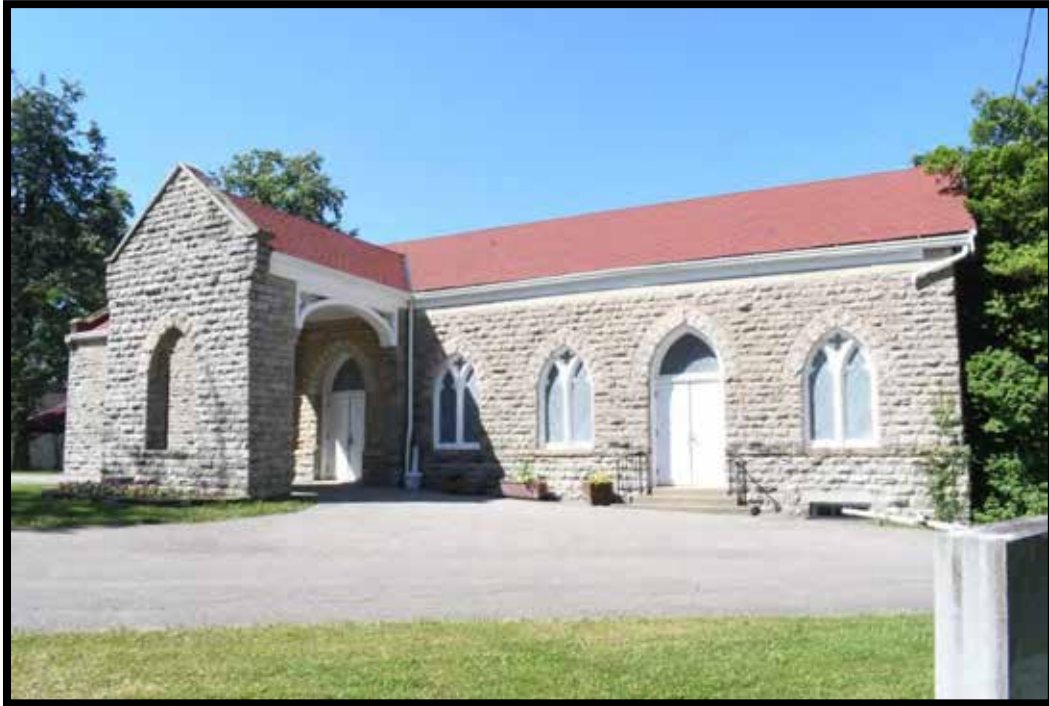


Plate 187. Highland Cemetery. Cemetery chapel (H), looking north.



Plate 188. Highland Cemetery. Cemetery chapel (H). Left: Looking east. Right: Cemetery chapel entrance, looking south,



Plate 189. Highland Cemetery. Cemetery lakes (I). Left: South lake, looking south. Right: North lake, looking NW.



Plate 190. Highland Cemetery Memorials. Left: Amos Shinkle Memorial. Right: Fisk Mausoleum.



Plate 191. Highland Cemetery. Representative images of cemetery memorials and mausoleums.



Plate 192. Highland Cemetery. Representative images of cemetery memorials and mausoleums.



Plate 193. Highland Cemetery. Maintenance garage (G), looking south.



Plate 194. Highland Cemetery. Left: storage shed (F), looking east. Right: Maintenance garage (J), looking SW.



Plate 195. Highland Cemetery. Mausoleums (K), looking NW.

NRHP Eligibility: Listed

Highland Cemetery is listed in the NRHP as an individual resource under the historic context in the Multiple Property Submission (MPS) *Historic Resources of Fort Mitchell, Kentucky*, which was also listed in 1989. Highland Cemetery retains sufficient historic integrity and significance to retain its status as *Listed* in the NRHP under Criterion C in the area of significance of Architecture with its existing period of significance 1869-1917. Still true today, and specifically noted in the 1989 nomination is that the Highland Cemetery possesses a higher level of historic integrity and “architectural distinction” than its

Victorian era counterparts Linden Grove Cemetery, St. John's, St. Mary's, and Mother of God Cemeteries in Kenton County.³¹⁸

Designed by renowned landscape architect Adolf Strauch, Highland Cemetery became one of the best examples of a rural garden cemetery in northern Kentucky representing the national garden cemetery movement of the nineteenth century. Highland Cemetery has preserved Strauch's original "landscape lawn" plan and its associated contributing elements thus preserving its historic integrity.³¹⁹ At a finer level, Highland Cemetery also preserves notable artistic grave markers and mausoleums which are specifically noted as contributing elements within the 1989 nomination. These are significant at the state level for representing a range of architectural styles including Gothic, Victorian, Neoclassical, Art Deco, and Moderne. Notable among the individual markers is the forty-foot Amos Shinkle memorial featuring an angel standing erect atop a Corinthian column and notable among the mausoleums is the Fisk family crypt.

In addition to the notable markers and mausoleums that comprise Highland Cemetery, reinforcing the contributing elements within the original National Register nomination, the following continue to be recommended as contributing: circa 1915 entry gate (B), circa 1917 Superintendent's house (D), circa 1910 bell tower (E), 1869 cemetery chapel (H), and lakes (I). Reinforcing the non-contributing elements within the original National Register nomination, the circa 1975 mausoleums (K) continue to be recommended non-contributing. Installed on the property since the nomination are the following non-contributing elements: circa 1980 frame storage shed (F), circa 1965 maintenance garage (G) and circa 1980 maintenance garage (J). Although the 1955 cemetery office building (C) is now fifty years of age, and its architecture reflects the architecture of the cemetery, it continues to be recommended non-contributing as it does not appear to *individually* warrant a thirty-eight (38) year expansion of the original period of significance in the area of significance Architecture.

³¹⁸ Ibid, Section 8, Page 1.

³¹⁹ Ibid.

Effects Assessment: No Effects

This property will experience No Effects from the proposed project. The paved portion of I-71/I-75 will not be expanded *within* the right-of-way in this part of the APE and new right-of-way is not being acquired in this area. As a result, there should be no new direct or indirect effects to NRHP-listed Highland Cemetery from this undertaking.

³²⁰ KYTC provided the NRHP boundary for this resource. Per Kenton County PVA, the parcel boundary for Highland Cemetery has expanded to the south since the time it was formally listed in the NRHP. Although this is the case, a NRHP boundary expansion for Highland Cemetery to include that additional property is not currently being recommended.

Field Site 231

Hillsdale Subdivision Historic District
KE-013
Circa 1850-1956
Rivard Drive and Kennedy Road
Covington, KY 41011



Plate 196. Rivard Drive, showing KE-4 (left) and KE-458 (right), north section of district, looking south

Description:

The impetus for the development of the Hillsdale Subdivision was Harry and Florence Rivard's acquisition of the Kennedy-Rivard Homestead/KE-4 from the Kennedy family heirs. The Rivards became the owners of the Kennedy-Rivard Homestead itself as well as Lots No. 1 and 2 (parcels of the original 100 acres divided up after Thomas D. Kennedy's death). Harry Rivard was the owner and operator of two butcher shops in Covington and is notable as the subdivider of his portion of the former Thomas Kennedy property as the Hillsdale Subdivision in 1916 and the salesperson of its first lots for new house construction. Rivard also "built and sold a few new homes along the newly named Rivard Drive which connected with previously established Kennedy Road" which was most likely an old access road to Kyles Lane.³²¹

According to the 1936 historic aerial map shown as a section in **Figure 76**, houses had only been built on the Hillsdale parcels within this section of the larger map. In addition to the Kennedy-Rivard Homestead

³²¹ Steve Roth, *Short Biography of the Kennedy and Rivard Families and the Kennedy-Rivard Homestead*, self-published: 1995), scanned with KHC survey form for KE-4, 2.

itself/KE-4, the 1936 map shows that the following had already been built: the large circa 1925 Tudor Revival house at 45 Rivard Drive/KEC-458; the circa 1930 house at 51 Rivard Drive/KE-925; and two (2) of the three (3) houses accessed from the Rivard Drive cul-de-sac (all except for the circa 1940 house at 53 Rivard Drive/KE-926). Evidence that the high style Tudor Revival house at 50 Rivard Drive was sold at a 1936 county commissioner's sale offers additional support for a 1920s period of construction of the first newly constructed house in the Hillsdale Subdivision. The large Tudor Revival house was likely affordable to build in the 1920s, but the financial crisis of the Great Depression may have required the family to sell it. According to a *Kentucky Post* newspaper notice from only a few days prior to its sale, the house at 50 Rivard Drive was sold at the Kenton County Commissioner's Sale on November 10, 1936. Aligning with the Kenton County PVA information for this parcel, this house was described as "Being Lot No. Five (5) Block "B" of Rivard's Hillsdale Subdivision . . . located on Rivard Drive . . ." and including, "Improvements: Two-story stone house, six rooms and bath. Garage in basement."³²²

Although Hillsdale had been at least partially subdivided shortly after Harry Rivard acquired the Kennedy-Rivard Homestead and portions of the Thomas Kennedy property in 1916, it appears to have developed rather slowly from that point until toward the end of the Great Depression. Based on 1938 advertisements for the Hillsdale Subdivision, it appears that Hillsdale was originally marketed as a streetcar suburb. As shown in **Figure 78**, the Fort Mitchell Realty Company included the note "End of Ft. Mitchell Car Line" in its 1938 marketing for "Hillsdale Lots! Rivard Subdivision!" The Fort Mitchell Streetcar was also locally referred to as the Fort Mitchell Trolley which appears to have operated through 1950. Access to this type of public transportation would have encouraged people to live in a subdivision further from downtown Covington.

By later in 1938, Robert Price, who appeared to have been a speculative builder rather than just selling lots, was appealing to potential homeowners' Depression era frugality in the advertisement for houses at "Kennedy Road and Rivard Drive" in **Figure 80** with the headline "These Homes Can Be Bought for Less Than Rent!" According to the 1949 Sanborn Fire Insurance map shown in **Figure 77**, houses had been built on all but three of the Kennedy Road parcels within Hillsdale by this time (the remaining few had also been constructed by 1955). While difficult to determine exactly which of these houses were built in 1938 and which may have been built after World War II, houses from this time period are generally more modest single and 1.5 story houses including new styles such as Cape Cod. It is likely that the late 1930s houses are those which still allude to the earlier, larger, more ornate Tudor Revival houses in the earlier part of the Hillsdale Subdivision along Rivard. These houses were built and marketed to potential middle-class homeowners in a more relatable way, offering open houses for new home buyers.

In the final period of development in the late 1940s and early 1950s, houses tended toward Ranch and Minimal Traditional styles and were generally infill around existing developed parcels. Additionally, the Fort Wright Civic Center is shown as having been constructed by 1949 on the last large Hillsdale parcel.

³²² "Commissioner's Sale: Kenton County Circuit Court: Home Owners' Loan Corporation, Plaintiff. A.M. Ewing, et al., Defendant," Saturday, November 7, 1936, (Covington: *The Kentucky Post*, 2), Newspapers.com, accessed online July 2022 at <https://www.newspapers.com/image/760590203>.

This is significant because Fort Wright was developing along with multiple subdivisions just to the east of the Hillsdale Subdivision. The fact that the Fort Wright Civic Center was built near the dividing line between the earlier Hillsdale Subdivision and the later post-World War II subdivisions comprising Fort Wright shows that the two began to merge at this time. The Fort Wright Civic Club, Inc. continues to own the property and has incorporated Little Treehouse Learning Center at the east end of the building.



Plate 197. Rivard Drive, showing KE-926 (left) and KE-925 (right), west end of district, looking northwest.



Plate 198. Corner of Rivard Drive and Kennedy Road, southwest corner of district, looking northeast



Plate 199. Rivard Drive cul-de-sac, southwest corner of district near intersection of Rivard Drive and Kennedy Road, looking southwest



Plate 200. South side of Kennedy Road near 132 Kennedy Road, looking northeast



Plate 201. North side of Kennedy Road near 131 Kennedy Road, looking northeast



Plate 202. South side of Kennedy Road near 126 Kennedy Road at east end of district, looking east



Plate 203. Fort Wright Civic Center, 115 Kennedy Road at east end of district, looking north

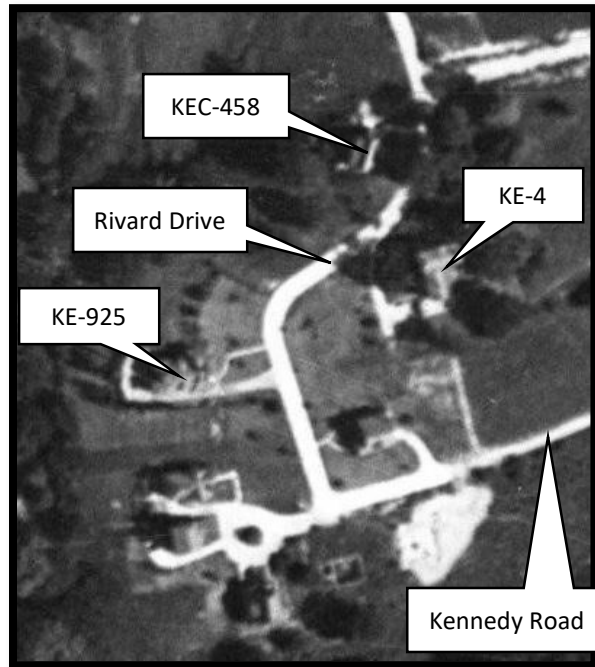


Figure 76. Section of 1936 Historic Aerial Map of early Hillsdale Subdivision, labeled³²³

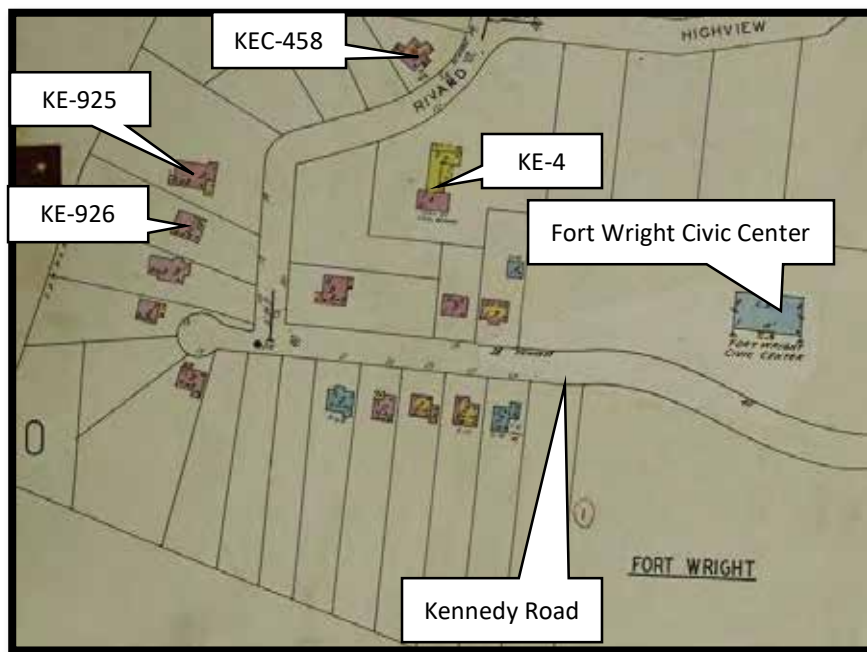


Figure 77. Section of 1949 Sanborn Map of Hillsdale Subdivision and developing Fort Wright, labeled³²⁴

³²³ Image di120914, Aerial view of Fort Mitchell, Lawrence Brand Collection, Kenton County Public Library, Kenton County Faces and Places, accessed online July 2022 at: <https://facesandplaces.kentonlibrary.org/viewimage.php?i=di120914>.

³²⁴Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1949). Volume 2, Sheet 129.



Figure 78. 1938 Advertisement for Sale of Lots in Hillsdale Subdivision

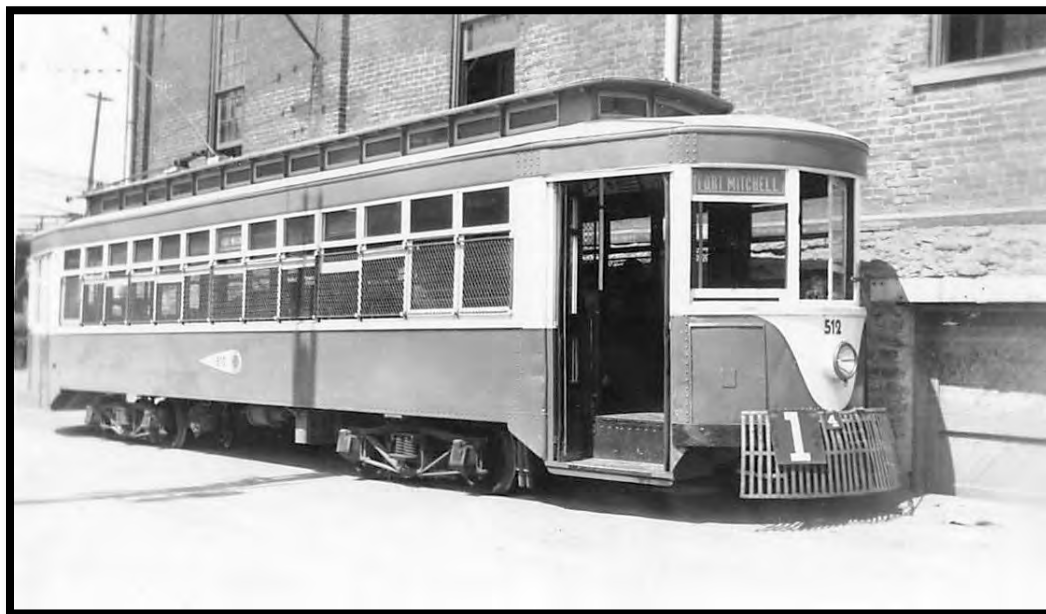


Figure 79. Fort Mitchell Streetcar which would have served the Fort Mitchell and Hillsdale area³²⁵

³²⁵ Bernie Spencer, "Fort Mitchell Trolley Scenes," on website *Northern Kentucky Views: A Broad Collection of Images and Texts on the History of Northern Kentucky*, accessed online August 2022 at: https://www.nkyviews.com/kenton/kenton_FM_trolley.html.

post-World War II suburb along Kennedy Road until, finally, its growth east toward developing Fort Wright causes its community center to be symbolically built on the last large Hillsdale parcel. Hillsdale uniquely encompasses almost every historic type and period of subdivision development within its necessarily wide period of significance of 1850-1956. The period of significance end date was chosen to ensure the Fort Wright Civic Center was not excluded since it is a strong indicator of the pattern of development for this subdivision as well as its intersection with newly developing Fort Wright. After 1956; however, only a small number of houses infilling empty lots were being built within the Hillsdale Subdivision and this minor later infill development is not representative of the primary pattern of development that makes it significance as a subdivision. Within Hillsdale, KE-4, the Kennedy-Rivard Homestead, has previously been determined individually Eligible for listing in the NRHP; however, the current recommendation is that it should become *Eligible* as a contributing element to the Hillsdale Historic District due to the number of changes to its historic building fabric over time. Also within Hillsdale, KEC-458 has previously been determined *individually Eligible* as a good example of a Tudor Revival style house and this report reinforces the previous recommendation that it should remain *individually Eligible*. Additionally, KEC-458 is now also recommended as a contributing element to the newly proposed Hillsdale Subdivision Historic District. Character-defining landscape features of the proposed Hillsdale Subdivision Historic District include its curving streets, setbacks of its houses to include front yards with mature trees, generally long and narrow parcels, and individual driveways. Although it is an anomaly, the historic cul-de-sac at the corner of Rivard Drive and Kennedy Road is also recommended as a character-defining landscape feature.

Hillsdale evolved from a portion of the original one hundred (100) acres of “woodlands” deeded from Joseph Kennedy to his son Thomas D. in 1819.³²⁶ As stated previously, Thomas D. Kennedy, who built the Kennedy-Rivard Homestead (possibly with the labor of the approximately six enslaved persons who he owned according to a family history), served as Engineer of the Covington & Lexington Turnpike, Civil Engineer for Covington, and Director of the Covington Branch of the Farmers Bank.³²⁷ Harry and Florence Rivard were the eventual owners of the Kennedy-Rivard Homestead as well as Lots No. 1 and 2 (parcels divided up after Thomas D. Kennedy’s death). Harry Rivard was the owner and operator of two butcher shops in Covington and is notable as the subdivider of his portion of the former Thomas Kennedy property as the Hillsdale Subdivision in 1916 and the salesperson of its first lots for new house construction. After his time, the Hillsdale Subdivision continued to grow and evolve, reflecting the changes in subdivision development including marketing, housing trends, and federal financial support. As such, the proposed Hillsdale Subdivision Historic District is a good example of the process of suburban development in Northern Kentucky.

Although Thomas D. Kennedy and Harry and Florence Rivard had a known association with the future Hillsdale Subdivision, research did not indicate that any of these former property owners were persons of outstanding significance, either at the local, state, or national level, under NRHP Criterion B. Although

³²⁶ Steve Roth, *Short Biography of the Kennedy and Rivard Families and the Kennedy-Rivard Homestead*, self-published: 1995), scanned with KHC survey form for KE-4, 1.

³²⁷ Roth, *Short Biography of the Kennedy and Rivard Families*, 2.

Thomas D. Kennedy's *grandfather* (born circa 1741), also named Thomas Kennedy, was one of the original settlers at the Point, later incorporated as Covington. Thomas D. Kennedy (born circa 1795) has no such association with Covington's founding. Thomas D. Kennedy's father Joseph was most strongly associated with a ferry operation in this area; however, Thomas did assist his father, eventually becoming superintendent of the ferry and, later, civil engineer for Covington. Joseph Kennedy had purchased the land which became the Kennedy-Rivard Homestead in approximately 1815 and deeded it to Thomas in 1819. Repeating a familiar pattern, Thomas D. Kennedy's will stipulated that his land, including the Kennedy-Rivard House at FS 152/KE-4 be divided among his heirs after he died. Harry and Florence Rivard eventually purchased the Kennedy-Rivard House as well as a portion of Kennedy's land from Thomas' daughter Mary Kennedy (Gedge)'s heirs Llewellyn and Jessie Gedge.³²⁸ Harry Rivard, a local businessperson, continued the pattern of acquisition and subdivision by further subdividing and beginning to develop the Rivards' portion of the former Kennedy property. It is this *pattern of development* that is significant, rather than the individuals who owned it. Although FS 150/KEC-458, a highly intact and higher style example of a Tudor Revival house, is recommended both individually eligible under Criterion C as well as contributing to the Hillsdale Subdivision Historic District, this house is somewhat of an anomaly and most houses within the subdivision do not rise to this high level of architectural significance and integrity. Although this is the case, the other houses in the subdivision remain useful indicators of the property types and pattern of suburban development within the Hillsdale Subdivision. As such, the Hillsdale Historic District recommended eligible for listing in the NRHP under Criterion A and is not recommended eligible for listing in the NRHP under Criteria B or C.

Within the proposed Hillsdale Subdivision Historic District as well as within the APE, the field team surveyed FS 148/KE-926, FS 149/KE-925, and FS 150/KEC-458.

³²⁸ Roth, *Short Biography of the Kennedy and Rivard Families*, 2.

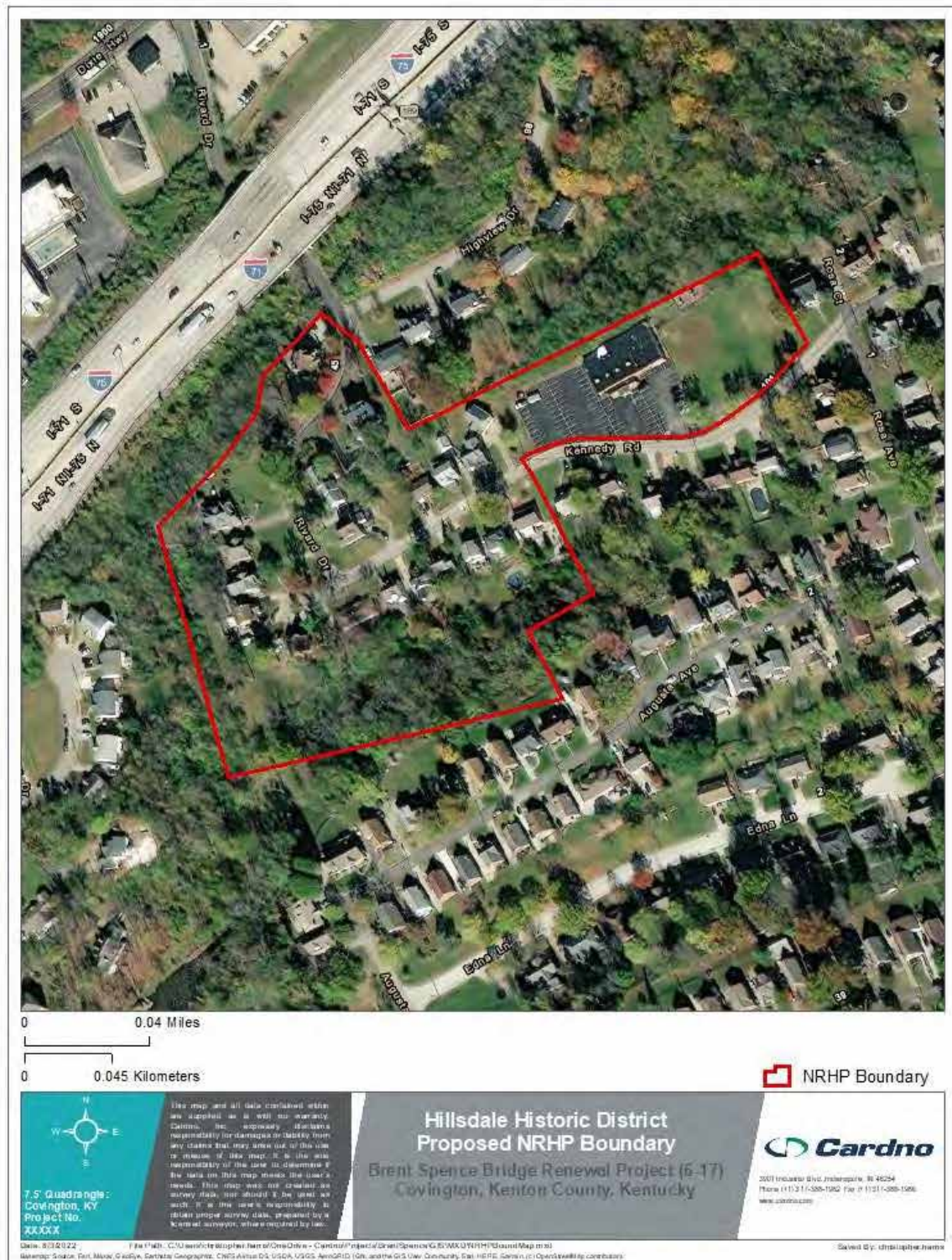


Figure 82. KE-013, Hillsdale Historic District, Recommended NRHP Boundary Map

Effects Assessment: No Adverse Effect

This district as a whole will experience No Adverse Effects from the proposed project. Although the proposed new construction activities should take place outside the parcel boundaries of all of the associated properties and no new permanent right-of-way is proposed to be acquired, the undertaking will place the interstate even closer to this district, creating a No Adverse Effect.

Both noise walls and a section of retaining wall are proposed to be constructed between the district and the interstate. The noise walls are proposed to reach 20 ft. in height and will likely mitigate the effects of noise, and perhaps even improve the viewshed, due to the collaboration among KYTC and the municipalities. According to Ken Sperry and Joey Mosley of HMB Professional Engineers, Inc. (via Gary Valentine of KYTC), “Regarding the look, we are currently working with an aesthetics committee in each municipality to define the look of the hard surfaces (including retaining and noise walls).”³²⁹ If at all plausible, it would be ideal to place the retaining walls behind the noise wall or veneer the retaining wall with aesthetically-pleasing materials, determined by the municipality in consultation with the neighborhood.

FS 148/KE-926 is not being either directly or indirectly affected by the undertaking since no right-of-way is being acquired and it is sufficiently far from the proposed construction activities. Its neighbor at FS 149/KE-925 will experience a strip taking for right-of-way acquisition; however, the construction limits indicated within this strip taking will be only for temporary construction equipment and staging and there should be no permanent negative impacts to FS 148 or FS 149 from this undertaking.

Hillsdale Subdivision- Recommended Contributing/Noncontributing Properties

The following field sites are recommended contributing to the Hillsdale Subdivision Historic District, in addition to previously recorded KE-4/Kennedy-Rivard House which is also recommended as a contributing element but is outside the APE and thus not documented as a field site in this report. The contributing field sites within the APE include the following: FS 148/KE-926, FS 149/KE-925 and FS 150/KEC-458. FS 150/KEC-458 is an individually eligible Tudor Revival House that also contributes to the proposed Hillsdale Historic District. This property is discussed further in Section 4. Effects for these contributing properties are discussed in the associated historic district’s Effects Assessment above.

³²⁹ Email communication from Ken Sperry and Joey Mosley via Gary Valentine to Stephanie Lechert, Stacey D. Hans, Joey Mosley, and Ken Sperry, forwarded to Rachel Kennedy, date of forwarded e-mail August 11, 2022.

Field Site 148

Contributing to Hillsdale

Tudor Revival House

KE-926

Circa 1938

53 Rivard Drive

Covington, KY 41011

39.055073, -84.543189



Plate 204. House, looking northwest.

Description:

This 1.5 story, brick and stone veneer front gable, Tudor Revival style house has W-W-D fenestration. Windows are casements with either eight square lights or with leaded diamond panes. The front door is sheltered by a gable-oriented projecting arched entrance bay with arched openings on both the front and side elevations. Between the two first story façade windows is a stepped exterior brick chimney. The edges of the facade (as short sections of extended battered stone walls), along with the chimney and entrance bay, are highlighted by stone veneer accents. The gable area of the façade is stuccoed with faux beams visually differentiated by two different paint colors (teal and brown). Although the house generally expresses as a front gable, it has a lower height cross gable roof at the northwestern slope. Corresponding to this cross gable section is a side door accessed by a set of concrete steps and window. The house rests on a parged concrete basement foundation which contains a basement garage with an overhead garage door at the south/left elevation accessed by a partially infilled Hollywood driveway with two strips of concrete. This house had not been built by 1936 like its neighbors based on a historic

aerial map from that year; however, a 1949 Sanborn Fire Insurance map shows that this house had been built by that time. The house is not associated with any supporting resources. Other later houses in the Hillsdale Subdivision along Kennedy Road were built circa 1938 according to newspaper articles and this house was likely built approximately the same time.



Plate 205. House, façade, looking west.



Plate 206. House, looking southwest.

NRHP Eligibility: Contributing – Hillsdale Subdivision Historic District

This property is recommended as a contributing element to the proposed Hillsdale Subdivision Historic District (FS 231) under NRHP Criterion A since it was built within the period of significance, specifically during its period of development as a streetcar suburb.

This Tudor Revival house is in its original location on one of the parcels subdivided in the early period of development of the Hillsdale Subdivision and contributes to the historic integrity of design, workmanship, materials, location, feeling, setting, and association of the Hillsdale Historic District, reflecting its previously described character-defining features as an early- to mid-twentieth century subdivision. This house retains sufficient historic integrity and significance as a contributing element to the proposed Hillsdale Subdivision Historic District and is relatively intact, preserving its stone-accented exterior walls and stepped façade chimney, arched front gable entrance bay, historic windows, and prominent front gable with stucco and faux half-timbering.

The property does not have significance to be individually eligible, as it is better understood as an important property type with relation to the surrounding district within its period of significance. It is not an important example of a type of architecture that is individually eligible, nor does it possess high artistic values (Criterion C) or reflect the work of a master. It does not appear to be associated with an important person, during their productive life (Criterion B), and, evaluated alone, it is not an important example of an event significant within the history of the state, nation, or locality (Criterion A).

Field Site 149

Contributing to Hillsdale

Tudor Revival House

KE-925

Circa 1930

51 Rivard Drive

Covington, KY 41011

39.055228, -84.543295



Plate 207. House, looking southwest.

Description:

This is a 1.5 story Tudor Revival style, brick and stone veneer house with D-WW-WW-WWWW fenestration. Windows are 4/1 and 6/1 double hung vinyl replacements as well as 1/1 narrow vinyl casement replacements in their original pairs and ribbons and retaining their stone sills. The house has a primary steeply pitched hipped, asphalt shingle roof with two front gable projecting bays with half-timbered detailing in their gable areas as well as a front gable projecting entrance bay. Half-timbered detailing is created by stucco and faux beams in the façade gable areas painted in different colors (cream and brown). The front gable projecting entrance bay is highlighted by stone veneer around its arch and the façade chimney is also highlighted where it steps in and at the top near its terracotta chimney pots. At the southeast/left elevation of the house is a bay window and an exterior brick chimney flue which pierces the roof in this area. Between the two front gable projecting bays is an exterior, shouldered brick façade chimney. In all the slopes of the hipped roof except for the front there

are hipped roof dormers. The house rests on a poured concrete basement foundation. The house is associated with a storage shed (B) and a hipped roof outbuilding (C).

The storage shed (B) is a prefabricated metal building with double doors and a side gable, asphalt shingle roof. The hipped roof outbuilding (C) was not clearly visible from the right-of-way and no additional information is available.



Plate 208. House and hipped roof outbuilding (C), looking west.



Plate 209. House, looking northwest.



Plate 210. Storage shed (B), looking southwest.

NRHP Eligibility: Eligible/Contributing - Proposed Hillsdale Subdivision Historic District

This property is recommended as a contributing element to the proposed Hillsdale Subdivision Historic District (FS 231) since it was built within the period of significance, specifically during its period of development as a streetcar suburb. This Tudor Revival house is in its original location on one of the parcels subdivided in the early period of development of the Hillsdale Subdivision and contributes to the historic integrity of design, workmanship, materials, location, feeling, setting, and association of the Hillsdale Historic District, reflecting its previously described character-defining features as an early- to mid-twentieth century subdivision. This house retains sufficient historic integrity and significance as a contributing element to the proposed Hillsdale Subdivision Historic District. Although its windows have been replaced, it preserves its historic stone-accented front gable entrance bay and stepped façade chimney; paired narrow window openings; as well as its prominent front gables with stucco and faux half-timbering.

The property does not have significance to be individually eligible, as it is better understood as an important property type with relation to the surrounding district within its period of significance. It is not an important example of a type of architecture that is individually eligible, nor does it possess high artistic values (Criterion C) or reflect the work of a master. It does not appear to be associated with an important person (Criterion B), during their productive life, and, evaluated alone, it is not an important example of an event significant within the history of the state, nation, or locality (Criterion A).

FIELD SITE DESCRIPTIONS AND RESULTS PROPERTIES RECOMMENDED NOT ELIGIBLE

The following 164 field sites are recommended not eligible for the NRHP, due to either a lack of significance and/or integrity. These properties arrange in date from the mid-nineteenth century to the mid-to-late twentieth century, and include houses, commercial properties, bridges, and parks.

Field Site 1

House
KECL-1029
Circa 1900
640 Western Avenue
Covington, KY 41011
39.08291, -84.524099



Plate 211. House, looking east.

Description:

This resource is a single story Shotgun house, constructed circa 1900. The building is clad in vinyl siding and fish scale shingles within the gable front. The resource's roof is covered with asphalt shingles. An interior parged chimney is situated near the rear of the house. There is a W-D fenestration pattern with a 1/1 vinyl window flanked by nonoperational shutters and topped with a vinyl transom window. The modern entry door is topped with a wood transom window. The resource sits on a concrete block foundation. There are no outbuildings associated with this property. This house is first depicted in the

1909 Sanborn Map.³³⁰ The address is listed in the 1920-1921 city directory. At the time, the DeVan family was living at the house.³³¹ This property was last surveyed as KECL-1029 in December 2006 and determined ineligible.



Plate 212. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Shotgun house. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³³⁰ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.

³³¹ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1920-1921), 75.

Field Site 2

House

KECL-1049

Circa 1900

638 Western Avenue

Covington, KY 41011

39.082995, -84.524094



Plate 213. House, looking east.

Description:

This resource is a 1.5 story Shotgun house, constructed circa 1900. The building is clad in wood siding. The gable front roof is covered with asphalt shingles. An interior brick chimney is located near the rear of the building along the ridge. The entry porch has been enclosed and topped with a half-hipped roof covered with standing seam. The only wall opening on the first level of the front elevation is a fixed metal window flanked by nonoperational shutters. The upper level contains a 1/1 wood window flanked by nonoperational shutters. The entry is located along the south (side) elevation. The resource sits on a stone foundation. There are no outbuildings associated with this property. This house is first depicted in the 1909 Sanborn Map.³³² The address was first listed in the city directory in 1908-1909. At the time,

³³² Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.

Elizabeth Fisher, a dress maker, and Martha Fisher, a seamstress, lived here.³³³ This property was last surveyed as KECL-1049 in December 2006 and determined ineligible.



Plate 214. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Shotgun house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³³³ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1908-1909), 93.

Field Site 3

House

KECL-1050

Circa 1875

636 Western Avenue

Covington, KY 41011

39.083065, -84.524114



Plate 215. House, looking east.

Description:

This resource is a single story Shotgun house constructed circa 1875. The building is clad in vinyl siding. The cross-gable roof is covered with asphalt shingles. The interior brick chimney is centrally located along the ridge of the roof. There is a W-D fenestration pattern with sliding wood windows and 2/2 wood windows on the side elevations. The modern modified entry is topped with a fanlight and flanked with a five-light sidelight on either side. The resource sits on a stone foundation. There are no outbuildings associated with this property. This house is first depicted in the 1909 Sanborn Map.³³⁴ The house was first listed in the city directory in 1897. According to the directory, John Fisher and George

³³⁴ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.

Pitts lived at the house.³³⁵ This property was last surveyed as KECL-1050 in December 2006 and determined ineligible.



Plate 216. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Shotgun house in Covington or in Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³³⁵ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1897), 77, 163.

Field Site 4

House
KECL-1046
Circa 1905
632 Western Avenue
Covington, KY 41011
39.083179, -84.524121



Plate 217. House, looking northeast.

Description:

This resource is a 1.5 story Bungalow, constructed circa 1905. The building is clad in vinyl and fiberboard or wood siding. The side gable roof is topped with asphalt shingles and a dormer which contains two 1/1 metal windows. A parged interior chimney is located along the north elevation. There is a W-W-W-D fenestration pattern with 3/1 wood windows on the first floor. The modified entry is flanked by a sidelight on either side. The full-length entry porch is supported by brick columns. The resource sits on a parged foundation. There are no outbuildings associated with this property. This house is first depicted in the 1909 Sanborn Map.³³⁶ This property was last surveyed as KECL-1046 in December 2006 and determined eligible.

³³⁶ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.



Plate 218. House, looking east.

NRHP Eligibility: Not Eligible

Although this house was determined eligible in 2006, the present study recommends this property as *Not Eligible* for listing in the NRHP. While the house is similar in appearance to the 2006 conditions, as far as can be determined from a single photograph, it does not appear to be an important example of a Craftsman Bungalow in Covington or Kenton County. The house has 1/1 metal replacement windows on the second story and also features modern wood or fiberboard siding, laid in a V-pattern at the gables. It is also sided in vinyl on the first floor. The house does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 5

House
KECL-1014
Circa 1950
635 Western Avenue
Covington, KY 41011
39.083052, -84.524608



Plate 219. House, looking west.

Description:

This resource is a single story house constructed circa 1950. The building is clad in metal siding and a stone veneer. The resource is topped with a gable front roof covered with asphalt shingles. There is a D-W-W fenestration pattern with a modern nine light door at the first bay. At the second bay, there is a 1/1 and picture windows constructed of vinyl. There is a full-length entry porch covered with a frame pergola. The foundation was not visible at the time of the survey. There are no outbuildings associated with this property. This property was last surveyed as KECL-1014 in December 2006 and determined ineligible.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not

eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 6

House

KECL-1030

Circa 1905

630 Western Avenue

Covington, KY 41011

39.083295, -84.524182



Plate 220. House, looking east.

Description:

This resource is a two story house constructed circa 1905. The building is clad in metal and vinyl siding. The resource is topped with a front gable roof covered with asphalt shingles. An exterior brick chimney is located on the north elevation. There is a W-D-W fenestration pattern with 3/1 wood windows on the first level and 1/1 wood windows on the second level. There is a full-length entry porch with Victorian style millwork. The resource sits on a parged, concrete block foundation. There is a circa 1970 carport addition on the south elevation. There are no outbuildings associated with this property. This house is first depicted in the 1909 Sanborn Map.³³⁷ This property was last surveyed as KECL-1030 in December 2006 and determined ineligible. Since the last survey of the house, the porch has been modified.

³³⁷ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.



Plate 221. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 7

House
KECL-1037
Circa 1945
633 Western Avenue
Covington, KY 41011
39.083308, -84.524716



Plate 222. House, looking west.

Description:

This resource is a two story house constructed circa 1945. The first level is constructed of concrete block and the second level is clad in metal siding. The resource is topped with a side gable roof covered with asphalt shingles. There is a D-W-W fenestration pattern which contains a modern door and 1/1 vinyl windows. The foundation was not visible at the time of the survey. Located to the south of the primary resource is a modern storage shed clad in metal siding (B). This property was last surveyed as KECL-1037 in December 2006 and determined ineligible.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 8

House

KECL-1031

Circa 1890

622 Western Avenue

Covington, KY 41011

39.083466, -84.524196



Plate 223. House, looking east.

Description:

This resource is a single story Shotgun house constructed circa 1890. The building is clad in metal siding. The resource is topped with a front gable roof covered with asphalt shingles. There is a D-W fenestration pattern with a 6/6 vinyl window. The modern entry is covered by a metal awning. The resource sits on a parged foundation. There are no outbuildings associated with this property. This house was first listed in the 1890-1891 city directory. According to the directory Joseph Krebs, a paper carrier, lived here.³³⁸ This property was last surveyed as KECL-1031 in December 2006 and determined ineligible.

³³⁸ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1890), 119.



Plate 224. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Shotgun house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 9

House

KECL-1015

Circa 1905

619 Western Avenue

Covington, KY 41011

39.0835, -84.524691



Plate 225. House, looking west.

Description:

This resource is a two story house constructed circa 1905. The building is clad in vinyl siding. The resource is topped with a front gable roof covered with asphalt shingles. There is a D-W-W fenestration pattern with 1/1 metal windows and metal jalousie windows. The entry is flanked by a sidelight on either side. The resource sits on a concrete block foundation. A full-length porch is located along the north elevation on the first and second level. There are no outbuildings associated with this property. A frame building of a similar shape is depicted on the 1909 Sanborn Map.³³⁹ This property was last surveyed as KECL-1015 in December 2006 and determined ineligible.

³³⁹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.



Plate 226. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 10

House

KECL-1039

Circa 1900

613 Western Avenue

Covington, KY 41011

39.083606, -84.524735



Plate 227. House, looking west.

Description:

This resource is a two story house constructed circa 1900. The building is clad in asbestos shingle. The resource is topped with a cross gable roof covered with asphalt shingles. There are two interior brick chimneys; one near the south elevation and one near the north elevation. There are triangular knee braces located at the gable front. There is a set of modern double doors on the first level of the resource. Directly above the entry is a 1/1 metal window on the second level. A secondary entry is located on the side elevation. The foundation was not visible at the time of the survey. There are no outbuildings associated with this property. A frame building of a similar shape is depicted on the 1909 Sanborn Map.³⁴⁰ This property was last surveyed as KECL-1039 in December 2006 and determined ineligible.

³⁴⁰ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.



Plate 228. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 11

House

KECL-1051

Circa 1908

616 Western Avenue

Covington, KY 41011

39.083672, -84.524273



Plate 229. House, looking east.

Description:

This resource is a single story house constructed circa 1908. The building is clad in Hardie Board and vinyl siding. The resource is topped with a gable on hip roof covered with asphalt shingles. There are two interior parged brick chimneys; one along the south elevation and one near the rear of the house. There is a D-W fenestration pattern which contains a modified entry on the single story side addition. The fixed wood window is topped with a metal awning and flanked by nonoperational shutters. The resource sits on a stone foundation. There are no outbuildings associated with this property. A frame building of a similar shape is depicted on the 1909 Sanborn Map.³⁴¹ This property was last surveyed as KECL-1051 in April 2010 and determined ineligible.

³⁴¹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.



Plate 230. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 12

House

KECL-1016

Circa 1905

611 Western Avenue

Covington, KY 41011

39.08369, -84.524774



Plate 231. House, looking west.

Description:

This resource is a 1.5 story house constructed circa 1905. The building is clad in vinyl siding. The resource is topped with a front gable roof which is covered with asphalt shingles. There are two interior parged chimneys; one located along the north elevation and one near the rear of the house. There is a W-D-W fenestration pattern which contains 1/1 vinyl windows topped with a transom. The entry full-length entry porch is topped with a shed roof. The resource sits on a parged foundation. There are no outbuildings associated with this property. A dwelling with a similar footprint in the same location is depicted on the 1909 Sanborn Map.³⁴² This property was last surveyed as KECL-1016 in December 2006 and determined ineligible.

³⁴² Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.



Plate 232. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 13

House

KECL-1038

Circa 1920

607 Western Avenue

Covington, KY 41011

39.083801, -84.524794



Plate 233. House, looking northwest.

Description:

This resource is a 1.5 story house constructed circa 1920. The building is clad in wood shingles. The resource is topped with a gambrel roof covered with asphalt shingles. A large roof dormer with three nine-light wood windows, defines the roofline. There is a W-D-W fenestration pattern on the first floor with a centrally located entry door flanked by single-light wood windows and wood casement windows on the first level. There is a full-length entry porch. The resource sits on a parged foundation. There are no outbuildings associated with this property. This property was last surveyed as KECL-1038 in April 2010 and determined not eligible.



Plate 234. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 14

House

KECL-1032

Circa 1880

606 Western Avenue

Covington, KY 41011

39.084007, -84.524385



Plate 235. House, looking east.

Description:

This resource is a single story Shotgun house constructed circa 1880. The building is clad in vinyl siding. The gable front is covered with asphalt shingles. An interior parged chimney is located along the ridge of the roof near the rear of the house. There is a W-D fenestration pattern which contains a 1/1 vinyl window flanked by nonoperational shutters. The modern entry is topped with a wood transom window. The resource sits on a stone foundation. A circa 1970 single story addition is located at the rear of the house. There are no outbuildings associated with this property. This house is first depicted in the 1886 Sanborn map.³⁴³ The property was last surveyed as KECL-1032 in April 2010 and determined ineligible. The brick chimney has been parged since it was last surveyed.

³⁴³ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1886, 1954 update). Sheet 7.



Plate 236. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Shotgun house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 15

House

KECL-1033

Circa 1950

604 Western Avenue

Covington, KY 41011

39.084097, -84.524373



Plate 237. House, looking east.

Description:

This resource is a single story house constructed circa 1950. The building is clad in metal and vinyl siding. The resource is topped with a front gable roof covered with asphalt shingles. There is a W-D-W fenestration pattern which contains a 1/1 vinyl window at the first bay and a vinyl picture at the third bay. The centrally located entry is covered by a single bay porch. The resource sits on a concrete block foundation. There are no outbuildings associated with this property. This property was last surveyed as KECL-1033 in December 2006 and determined ineligible.



Plate 238. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 16

House

KECL-1017

Circa 1900

601 Western Avenue

Covington, KY 41011

39.084018, -84.524897



Plate 239. House, looking southwest.

Description:

This resource is a 2.5 story house constructed circa 1900. The resource is clad in vinyl siding. The house is topped with a front gable roof which is covered with asphalt shingles. There is a D-D fenestration pattern; both openings contain modern sliding glass doors. The resource sits on a concrete block foundation. The upper floor has been heavily modified and contains floor to ceiling fixed vinyl windows. Modern wrap around porches have been added to the first and second floor. There are no outbuildings associated with this property. The 1909 Sanborn Map depicts a frame dwelling with a similar footprint with a side porch. The map also shows a square concrete structure, however, it is no longer extant.³⁴⁴ This property was last surveyed as KECL-1017 in December 2006 and determined ineligible.

³⁴⁴ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 17.



Plate 240. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 17

House

KECL-1058

Circa 1890

527 Western Avenue

Covington, KY 41011

39.084135, -84.524994



Plate 241. House, looking west.

Description:

This resource is a 2.5 story Second Empire house constructed circa 1880. The resource is clad in metal siding. The house is topped with a mansard roof covered with asphalt shingles. The only wall opening on the first level of the front elevation is a bay window which contains three 2/2 wood windows. The second level contains fixed metal windows. A centrally located roof dormer contains a wood picture window flanked by a four-light wood window on either side. There is a centrally located interior parged chimney. The south elevation contains a modern frame deck on the first floor and second floor. A single story modern frame porch is located along the north elevation. The porch is topped with a shed roof. The resource sits on a poured concrete foundation. There are no outbuildings associated with this property. The house is depicted in the 1886 Sanborn Map, the earliest Sanborn Map of Covington.³⁴⁵ This property was last surveyed as KECL-1058 in December 2006 and determined ineligible.

³⁴⁵ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1886), Sheet 7.



Plate 242. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Second Empire house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 19

House

KECL-1019

Circa 1900

517 and 515 Western Avenue

Covington, KY 41011

39.084569, -84.525068



Plate 243. House, looking west.

Description:

This resource is a two story house constructed circa 1900 is characterized by its full length modern porch and modern balcony. The resource is clad in vinyl and shake siding. The house is topped with a gable roof covered with asphalt shingles. There is a modified W-D fenestration pattern which contains a vinyl fixed window and a modern entry door on the first floor. The second floor contains a sliding glass door along the front elevation. The resource sits on a stone foundation.

Located to the east of the primary resource is a circa 1949 banked garage (B). The rusticated concrete block garage contains a modern rolltop door and a modern rooftop sitting area. Located to the west of the primary resource is a workshop (C). The workshop is clad in vinyl siding and topped with an asphalt shingle roof. Located to the east of the primary resource is a modern stone retaining wall (D). The house is depicted in the 1906 Sanborn Map along with a concrete building located near the vicinity of the

present-day garage.³⁴⁶ This property was last surveyed as KECL-1019 in December 2006 and determined ineligible.



Plate 244. House and Garage, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³⁴⁶ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update), Sheet 9.

Field Site 20

House

KECL-1047

Circa 1905

511 Western Avenue

Covington, KY 41011

39.08485, -84.525023



Plate 245. House, looking southwest.

Description:

This resource is a 1.5 story Craftsman Bungalow constructed circa 1905 and is characterized by a full-length Craftsman-style entry porch. The resource is clad in Hardie Board siding. The house is topped with a side gable roof. The front gable dormer contains two 1/1 vinyl windows. There is a W-D-W fenestration pattern which contains two wood picture windows. The modern door is centrally located. The resource sits on a molded concrete block foundation. Located to the east of the primary resource is a retaining wall constructed of poured concrete (B). The concrete wall runs along the sidewalk, parallel to Western Avenue. This house is depicted in the 1906 Sanborn Map.³⁴⁷ This property was last surveyed as KECL-1047 in April 2010 as it was undergoing renovations. It was determined ineligible.

³⁴⁷ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update), Sheet 9.



Plate 246. House and retaining wall, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Bungalow in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 21

House

KECL-1020

Circa 1920

507 Western Avenue

Covington, KY 41011

39.085037, -84.525057



Plate 247. House, looking northwest.

Description:

This resource is a three story house constructed circa 1920. The resource is clad in vinyl siding. The house is topped with a hip on gable roof covered with asphalt shingles. An interior brick chimney is located near the rear of the house. The only wall opening on the first level contains a nine-light modern door. Casement and 1/1 vinyl windows are located throughout the resource. A modern frame porch has been added to the first floor and second floor. The house sits on a concrete block foundation.

A circa 1940 shed addition is attached to the west elevation (rear). Located to the east of the primary resource is a garage (B) and a concrete block retaining wall (C). The garage is constructed of concrete block and clad in wood siding. The resource contains two modern rolltop doors and is topped with a side gable roof covered with asphalt shingles and a front gable roof dormer. The dormer contains two metal casement windows.

This house is depicted in the 1906 Sanborn Map. There appears to be two additional buildings on the parcel, one of which is in the same vicinity as the garage.³⁴⁸ This property was last surveyed as KECL-1020 in December 2006 and determined ineligible.



Plate 248. Garage (B), looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³⁴⁸ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update), Sheet 9.

Field Site 22

House

KEC-1036

Circa 1905

431 Western Avenue

Covington, KY 41011

39.08528, -84.525041



Plate 249. House, looking southwest.

Description:

This resource is a 1.5 story house constructed circa 1905. The resource is clad in vinyl siding. The house is topped with a side gable roof covered with asphalt shingles. A centrally located large dormer topped with a shed roof contains a set of sliding glass doors. There is a D-W fenestration pattern on the first level which contains a modern, single light door and a vinyl picture window. A large frame porch has been added to the front elevation at the first floor. A frame porch has also been added to the second floor at the dormer. The house sits on a parged foundation. Attached to the east (front) elevation is a banked two-car garage. The garage has been stuccoed and contains a modern rolltop garage door. It is topped with a flat roof. This house is depicted in the 1906 Sanborn Map and shows an additional concrete building on the parcel.³⁴⁹

³⁴⁹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update), Sheet 9.



Plate 250. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 23

House

KECL-1021

Circa 1905

413 Western Avenue

Covington, KY 41011

39.08581, -84.525326



Plate 251. House, looking west.

Description:

This resource is a 1.5 story house, constructed circa 1905, and is characterized by its steeply pitched roof. The resource is clad in vinyl siding and wood fish scale shingles. The house is topped with a front gable roof covered with asphalt shingles and an interior brick chimney. There is a D-W fenestration pattern on the first level which contains a modern door flanked by a sidelight on either side. Vinyl casement windows are located throughout the resource. The foundation wall was not visible at the time of the survey. A set of poured concrete and a set of modern frame steps lead to the resource from the right-a-way adjacent to Western Avenue. Physical evidence suggests this parcel was terraced to allow for the construction of the residence, which is located atop a steep incline. Located to the west of the primary resource is an outbuilding (B) that was not visible at the time of the survey. This house is first depicted in the 1906 Sanborn Map.³⁵⁰

³⁵⁰ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update), Sheet 9.



Plate 252. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 24

House
KECL-1022
Circa 1900
411 Western Avenue
Covington, KY 41011
39.085900, -84.525367



Plate 253. House, looking west.

Description:

This resource is a two story house, constructed circa 1920, and is characterized by its steeply pitched gable roof, giving this resource a Tudor Revival influenced architectural style. The resource is clad in vinyl and wood fishscale siding. The house is topped with a front gable roof covered with asphalt shingles and a large roof dormer on the north and south (side) elevations. Both dormers are topped with a shed roof. There is a D-W fenestration pattern on the first level which contains a modern door and a vinyl picture window. A modern, full-length frame porch addition is located on the first floor. There are 1/1 vinyl windows on the second level. The foundation was not visible at the time of the survey. A set of poured concrete and a set of modern frame steps lead to the resource from the right-a-way adjacent to Western Avenue. Physical evidence suggests this parcel was terraced to allow for the construction of the residence, which is located atop a steep incline. There are no outbuildings associated with this property.

This house is first depicted in the 1906 Sanborn Map.³⁵¹ This property was last surveyed as KECL-1022 in December 2006 and determined ineligible.



Plate 254. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³⁵¹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update), Sheet 9.

Field Site 25

House

KECL-1023

Circa 1925

409 Western Avenue

Covington, KY 41011

39.085974, -84.525389



Plate 255. House, looking northwest.

Description:

This resource is a single story house constructed circa 1925. The resource is clad in metal siding. The house is topped with a front gable roof covered with asphalt shingles. The interior parge chimney is located along the ridge of the roof. There is a W-D-D fenestration pattern which contains modern sliding glass doors and 3/1 wood windows. A large, frame deck has been added to the front elevation. The foundation was not visible at the time of the survey. A set of poured concrete and a set of modern frame steps lead to the resource from the right-a-way adjacent to Western Avenue. Physical evidence suggests this parcel was terraced to allow for the construction of the residence, which is located atop a steep incline. There are no outbuildings associated with this property. This house is first depicted in the 1906 Sanborn Map.³⁵² This property was last surveyed as KECL-1023 in December 2006 and determined ineligible.

³⁵² Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update), Sheet 9.



Plate 256. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 26

House

KECL-1024

Circa 1930

407 Western Avenue

Covington, KY 41011

39.086073, -84.525393



Plate 257. House, looking SW.

Description:

This resource is a circa 1930, 1.5 story Tudor Revival style residence. The façade features a D-W fenestration pattern. Its steep-pitched front gable roof has an asphalt shingle roof covering. A shed roof dormer is located on the northern roof slope and the façade's southern bay entry is covered by a front gable entry hood. Its exterior is clad in vinyl siding. The foundation was not visible at the time of the field survey. The windows are of metal sash construction, with 1/1 light patterns, and the façade's windows are flanked by non-operational shutters. A secondary entry, with a vinyl sliding entry door is located on the façade's northern bay. A set of poured concrete steps, with a modern wood frame rail, lead from the street level to the façade's modern wood frame porch with entry steps.

This property was last surveyed as KECL-1024 in December 2006 and determined not eligible.



Plate 258. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early-to-mid twentieth century Tudor Revival residence in Covington and Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 27

House

KECL-1040

Circa 1930

405 Western Avenue

Covington, KY 41011

39.086156, -84.525429



Plate 259. House, looking NW.

Description:

This resource is a circa 1930, 1.5 story Tudor Revival house. The façade features a W-D-W fenestration pattern. Its side gable roof has an asphalt shingle roof covering. The façade's southern bay entry is covered by a steep-pitched, one-and-a-half-story entry gable. Its exterior is clad in vinyl siding, the lower half has a stucco finish. The foundation was not visible at the time of the field survey. The façade and windows are of vinyl sash construction with 1/1 light patterns, and the south elevation windows are of wood sash construction with 3/1 light patterns. A fixed single light vinyl window is present at the façade's second-story, and modern leaded glass casement windows are located on the southern bay. A set of wood frame steps, lead from the street level to the façade's modern wood frame porch with entry steps.

This property was last surveyed as KECL-1040 in December 2006 and determined not eligible.



Plate 260. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early-to-mid twentieth-century Tudor Revival residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 28

House

KECL-1025

Circa 1925

401 Western Avenue

Covington, KY 41011

39.086236, -84.525458



Plate 261. House, looking west.

Description:

This circa 1925 two story residence has a front gable asphalt shingle covered roof. The façade features a D-W fenestration pattern. Its exterior is clad in vinyl siding, with fluted corner boards, and rests on a stone foundation. The first story façade windows are of vinyl construction. The second story window opening has been modified and features a fixed vinyl window with 24 lights. The first story picture window features a fixed vinyl window with 16 lights. The side elevation windows are of vinyl sash construction with 1/1 light patterns. The front gable entry porch features modern fluted support posts, topped with Tuscan caps. The partially enclosed frame balustrade features decorative wood sunbursts. Dentil work is present within the roof eaves. A single-story addition is present on the west elevation. Poured concrete steps, with an aluminum tube rail, leads up to the entry porch from the street level. This property was last surveyed as KECL-1025 in December 2006 and determined not eligible.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early-to-mid twentieth century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 29

House

KECL-1056

Circa 1925

333 Western Avenue

Covington, KY 41011

39.086344, -84.525514



Plate 262. House, looking SW.

Description:

This parcel contains a residence, garage, and storage shed. The primary resource is a circa 1925 two story house. Its façade features a W-D-W fenestration pattern. It has an asphalt shingle covered hip roof, and its exterior is clad in vinyl siding. The resource rests on a rusticated concrete block foundation. The windows are of vinyl sash construction with 1/1 light patterns. The façade features a central entry flanked by two fixed 24-light picture windows. A two-story wood frame porch with balcony is present on the façade and supported by fluted posts topped with Tuscan caps. This porch is depicted as a single story frame porch in the 1937 Sanborn Insurance Map for Covington, KY, indicating the second story balcony is a modern addition.³⁵³ The balustrade is partially enclosed with crosshatch-patterned framing. A set of wood frame stairs provide access to the primary resource from the street level.

There are two outbuildings associated with the primary resource. The first is a garage (B) located to the west of the primary resource. This building has an asphalt shingle covered front gable roof. Its exterior is

³⁵³ Sanborn Map Company, *Insurance Maps of Covington Kentucky, Volume 1*, (New York, Sanborn Map Company, 1909, 1937 update). Sheet 9.

clad in vinyl siding and rests on a concrete slab foundation. The single garage bay, with a modern overhead door, is present on its façade. The second outbuilding is a modern prefabricated storage shed (C), located to the north of the primary resource. The front gable roof has an asphalt shingle covering, and its exterior is clad in vertical wood paneling.

This property was last surveyed as KECL-1056 in December 2006 and determined ineligible.



Plate 263. House, looking SE.



Plate 264. Outbuildings. Left: Garage (B), looking south. Right: Shed (C), looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early twentieth-century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 30

House

KECL-1026

Circa 1912

321 Western Avenue

Covington, KY 41011

39.08672, -84.525345



Plate 265. House, looking SW.

Description:

This resource is a circa 1912 single story Northern Kentucky Shotgun house. The front gable roof has an asphalt shingle covering. Its exterior is clad in vinyl siding and the raised foundation has a circa 1960 Bedford stone veneer. A parged chimney is located on the western (rear) elevation. The vinyl sash replacement windows have 1/1 light patterns. The façade's single window is flanked by non-operational shutters. A modern wood frame porch is located on the western half of the south elevation. The previous 2006 survey form has this building's construction date as circa 1950; however, it seems certain this is incorrect. The 1939 Sanborn Fire Insurance map depicts a single-single story wood frame building at this location and the 1912-1913 William's Directory for Covington, KY lists this address, confirming the construction date is earlier.³⁵⁴³⁵⁵

³⁵⁴ Sanborn Map Company, *Insurance Maps of Covington Kentucky, Volume 1*, (New York, Sanborn Map Company, 1909, 1937 update). Sheet 1.

³⁵⁵ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1912-1913), 109.

This property was last surveyed as KECL-1026 in December 2006 and determined not eligible.



Plate 266. House, looking NW.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Northern Kentucky Shotgun residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 31

House

KECL-1048

Circa 1890

223 Western Avenue

Covington, KY 41011

39.087851, -84.525677



Plate 267. House, looking NW.

Description:

This property contains a residence, banked garage, and a stone retaining wall. The primary resource is a circa 1890 two story residence. Its façade features a D-W-W fenestration patterns. The cross-gable roof has an asphalt shingle roof covering, and the exterior is clad in vinyl siding. A chimney, whose exterior has been parged, is located on the northern roof slope, and the box gutters have been clad in metal. The windows are 1/1 vinyl replacements, and the building rests on a raised stone foundation wall. The façade's windows are flanked by non-operational shutters. The south elevation primary entry is covered by small entry porch, which retains little to no original elements. Its posts and spandrel have been enclosed with vinyl siding. A modern metal balustrade and wood frame steps, with a metal rail, have been added to the porch.

There are two secondary resources associated with the primary resource. The first is a banked garage (B) with three open bays. This concrete block garage has a field stone veneer and is present on the 1949

Sanborn Insurance Map for Covington, Kentucky.³⁵⁶ A matching stone veneer is present on an entry archway to the immediate north of the garage, over the entry stairs. It is unknown if the stone veneer on the garage and the arch is part of their original design, but due to archival research and physical evidence, it is suspected the veneer is a later alteration. This garage is constructed within the hillside, on the western side of Western Avenue, immediately south of the primary resource, and has metal and wood supports, which separate the bays. The final resource on the property is a late 19th century stone retention wall (C) located on the eastern property line just west of Western Avenue and the right-of-way. This wall is approximately eight feet in height and is mostly covered by overgrown vegetation.

This property was last surveyed as KECL-1048 in December 2006 and determined not eligible.



Plate 268. House, looking west.

³⁵⁶ Sanborn Map Company, *Insurance Maps of Covington Kentucky, Volume 1*, (New York, Sanborn Map Company, 1909, 1937 update). Sheet 1.



Plate 269. Garage (B), looking west.



Plate 270. Stone Retention Wall (C), looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late nineteenth century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 32

House

KECL-1027

Circa 1890

211 Western Avenue

Covington, KY 41011

39.088191, -84.525864



Plate 271. House, looking SW.

Description:

This property contains a residence and a stone retaining wall. The primary resource is a heavy modified circa 1890 two story residence. The façade features a D-W fenestrations pattern. Its front gable roof has an asphalt shingle covering, and its exterior is clad in vinyl siding. The vinyl replacement windows have a 1/1 light pattern and its foundation was not visible at the time of the field survey. The façade features a two story wood frame deck which is a later addition and is not present on the 1954 update to the 1909 Sanborn map.³⁵⁷

A late 19th century stone retaining wall (B) is located on the eastern property line, adjacent to the right-of way and Western Avenue. This wall is in fair condition, shows signs of past repairs, and features approximately 10 round drainpipes.

³⁵⁷ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1909, 1954 update). Sheet 1.

This property is first depicted in its present form on the 1894 Sanborn Insurance Map.³⁵⁸ The 2006 Kentucky Individual Buildings Survey Form for this property states this property was constructed circa 1870, and this address is listed in the 1869 Williams' Directory for Covington, Kentucky, but research indicates this property took on its present form between 1887 and 1894.³⁵⁹

This property was last surveyed as KECL-1027 in December 2006 and determined not eligible.



Plate 272. House, looking west.

³⁵⁸ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky*, (New York, Sanborn Map Company, 1894). Sheet 27.

³⁵⁹ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1869), 98; The 1886 Sanborn insurance map depicts a single story dwelling at the location of this property set back further from Western Avenue. It is possible the 1886 single story residence had a two story addition constructed upon its east elevation, taking on the form of the two story residence depicted on the 1894 Sanborn Map.



Plate 273. Stone wall (B), looking SW.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early twentieth century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 33

House

KECL-1042

Circa 1875

209 Western Avenue

Covington, KY 41011

39.088274, -84.525902



Plate 274. House, looking west.

Description:

This property contains a circa 1875 residence and a stone retaining wall. The primary resource's façade has a W-D-W fenestration pattern. The eastern section of the building is a single story in height and the western (rear) section is two stories in height. Its cross gabled roof has an asphalt shingle covering and the exterior is clad in vinyl siding. The vinyl replacement windows have 6/6 light patterns, and the foundation was not visible at the time of the field survey. This property is listed as a residence in the 1880 Williams' Directory for Covington, Kentucky and is depicted on the 1877 City Atlas of Covington, Kentucky.³⁶⁰³⁶¹ The back two story side gable addition of the property is not present on the 1954

³⁶⁰ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1880), 133.

³⁶¹ C.M Hopkins, *City Atlas of Covington, Kentucky*, (Philadelphia, C.M. Hopkins, C.E., 1877), 46.

Sanborn Fire Insurance Map, suggesting this modification occurred during the mid to late twentieth century.³⁶²

A late nineteenth century stone retaining wall (B) is located on the eastern property line, adjacent to Western Avenue and the right-of-way. This wall is approximately four feet in height and good condition. It shows very little signs of deterioration and repair.

This property was last surveyed as KECL-1042 in December 2006 and determined not eligible.



Plate 275. Stone retaining wall (B), looking SW.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late nineteenth-century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

³⁶² Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1909, updated 1954). Sheet 1.

Effects Assessment: Not Applicable

Field Site 34

House

KECL-1052

Circa 1865

207 Western Avenue

Covington, KY 41011

39.088344, -84.525866



Plate 276. House, looking NW.

Description:

This property contains a residence and a stone retaining wall. The primary resource is a two story brick Northern Kentucky Townhouse. Its façade features a W-W fenestration patterns. Its side gable roof has an asphalt shingle covering and features an interior gable end brick chimney. The resource rests on a stone foundation and the façade's fixed windows are metal frame. These windows are supported by Italianate-style stone sills with brackets and topped by stone lintels. The construction material of the side elevation windows could not be determined, but they have a 1/1 light pattern. These windows are supported by stone sills and stone lintels. An octagonal attic window is present within the south elevation's roof gable. A single story wood frame addition is present on the west elevation of the building. This addition has a shed roof, clad in wood siding, and rests on a stone foundation.

A late nineteenth-century stone retaining wall (B) is present on the eastern property line, adjacent to Western Avenue and the right-of-way. This wall is in fair condition and does show signs of deterioration. It is approximately four feet in height and is capped with stone embattlements.

This property is first listed in the 1869 Williams' Directory for Covington, Kentucky and is depicted on the 1877 City Atlas of Covington, Kentucky.³⁶³³⁶⁴ This property was last surveyed as KECL-1052 in December 2006 and determined not eligible.



Plate 277. House and stone wall (B), looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late nineteenth-century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³⁶³ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1869), 119.

³⁶⁴ C.M Hopkins, *City Atlas of Covington, Kentucky*, (Philadelphia, C.M. Hopkins, C.E., 1877), 46.

Field Site 35

House

KECL-1045

Circa 1928

205 Western Avenue

Covington, KY 41011

39.088421, -84.525914



Plate 278. House, looking SW.

Description:

This property is a circa 1928 2.5 story brick residence. Its front gable roof has an asphalt shingle covering, and the building rests on a parged foundation wall. The façade features a W-D fenestration pattern. A brick corbeled chimney is present on the northern roof slope. The façade wood sash windows are 6/1 and 12/1, and a vinyl sliding windows is present within the façade's second half-story roof gable. The side elevation has 3/1 wood sash windows. The façade's entry porch, with a modern upper-level balcony, features paired brick support posts, brick piers, and a closed brick balustrade. The posts, piers, and balustrade are topped with case concrete caps. The upper-level balcony features a modern wood rail.

A late nineteenth century stone retaining wall (B) is present on the eastern property line, west of Western Avenue and the right-of-way. This wall is in good condition and shows little signs of deterioration or repairs. A modern block retention wall is present to the immediate west of the stonewall.

This properties address is first listed in the 1928-1929 Williams' Directory for Covington, Kentucky as the residence of Fred Riegler, who owned the grocery store, Fred R and Son, at 213 Western Avenue, which is no longer extant.³⁶⁵ In the 1923-24 Williams' Directory, the Riegler family resided at 213 Western Avenue.³⁶⁶ This property is first depicted on the 1937 Sanborn Fire Insurance Map for Covington, Kentucky.³⁶⁷ The maps prior to this year's addition of the Sanborn Insurance Maps depict the residence at this location as a two story wood frame, not brick, building.³⁶⁸ This property was last surveyed as KECL-1045 in December 2006 and determined not eligible.



Plate 279. House and stone wall (B), looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early twentieth-century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a

³⁶⁵ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1928-1929), 198.

³⁶⁶ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1923-1924), 187.

³⁶⁷ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

³⁶⁸ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1909). Sheet 1.

significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 36

House

KECL-1028

Circa 1900

203 Western Avenue

Covington, KY 41011

39.088487, -84.52577



Plate 280. House, looking west.

Description:

This property is a single story residence with an attached garage and a sliding picture windows on its façade. Its front gable roof has an asphalt shingle covering and the exterior is clad in vinyl siding. The windows are metal sliders and the resource rests on a parged foundation. The façade features a lower level single car banked garage with a modern overhead garage door. This garage is first depicted on the 1937 Sanborn Fire Insurance Map, which shows it being constructed of concrete block.³⁶⁹

This property, in its current form, is first depicted on the 1937 Sanborn Fire Insurance Map.³⁷⁰ The address for this property is listed in the 1869 Williams' Directory.³⁷¹ The 1877 City Atlas of Covington, Kentucky depicts a building matching the current in form at this location and the Sanborn Fire Insurance

³⁶⁹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

³⁷⁰ Ibid.

³⁷¹ The Williams Directory Company, *Williams' Covington and Newport Directory*, (Cincinnati: The Williams Directory Company, 1869), 143.

Maps depict a single story frame dwelling at this location.³⁷² It is undetermined if this building depicted on these early maps is the same building present today. This property was last surveyed as KECL-1028 in December 2006 and determined not eligible.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late nineteenth to early twentieth-century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³⁷² C.M Hopkins, *City Atlas of Covington, Kentucky*, (Philadelphia, C.M. Hopkins, C.E., 1877), 46; Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1886). Sheet 7.

Field Site 37

Commercial/Residential

KEC-457

Circa 1920

801 Highway Avenue

Covington, KY 41011

39.088579, -84.52581



Plate 281. Building, looking SW.

Description:

This property is a circa 1920 building which historically used for commercial and residential purposes, but is currently vacant. Its primary façade features a W-D-W fenestration pattern. Its side gable roof has an asphalt shingle covering, and its exterior has a stucco veneer. The foundation was not visible at the time of the field survey. A majority of the windows openings are void of windows, with the exception of the façade's western bay picture window, which is wood frame. The façade's entry is enclosed. The east elevation entry has a modern steel-clad security door within the opening. Front gable entry porticos are present on the east and west elevation entrances.

The 1886 Sanborn insurance Map for Covington, Kentucky depicts a two-story wood frame property, used as a saloon, at this location, but also depicts south and east elevation single story additions, which are no longer extant.³⁷³ Without further research, it cannot be determined if the present building is the one depicted on this map. A building, used for commercial purposes, matching this building in form is

³⁷³ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1986). Sheet 7.

depicted on the 1937 Sanborn Insurance Map for Covington, Kentucky.³⁷⁴ This property was last surveyed as KEC-457 in December 2006 and determined not eligible.



Plate 282. Building, looking SE.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early twentieth century building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³⁷⁴ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

Field Site 38

Commercial Building
KEC-461
Circa 1870
821 Highway Avenue
Covington, KY 41011
39.08884, -84.526439



Plate 283. Commercial building, looking south.

Description:

This property is a circa 1870, two story, brick commercial building. Its side gable roof has a standing seam metal covering and the building rests on a parged foundation wall. Its façade features a D-W fenestration pattern. The storefront cornice is divided from the upper story on the facade by a stone course drip-edge. The storefront entry transom and display window are boarded up and the storefront entry door opening has been partially enclosed and a modern steel-clad door is present. The façade's second story windows are 6/2 wood sash. The windows on the side elevations are also boarded. All windows are supported by stone lintels and sills. A set of poured concrete steps are located adjacent to the buildings west elevation and lead up to the rear of the property.

This resource is depicted on the 1877 City Atlas for Covington, Kentucky.³⁷⁵ Early Sanborn Fire Insurance show this property as a dwelling, but the 1937 Sanborn map depict this building as a store, suggesting it

³⁷⁵ C.M Hopkins, *City Atlas of Covington, Kentucky*, (Philadelphia, C.M. Hopkins, C.E., 1877), 46.

was converted for commercial use in the early twentieth century.³⁷⁶ This property was last surveyed as KEC-461 in December 2006 and determined not eligible.



Plate 284. Commercial building, looking SW.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late nineteenth century commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³⁷⁶ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1986). Sheet 7; Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

Field Site 39

Stone Wall
KEC-1050
Circa 1870
827 Highway Avenue
Covington, KY 41011
39.088985, -84.526547



Plate 285. Stone wall, looking SW.

Description:

This resource is a circa 1870 mortared stone retention wall with a set of poured concrete steps located on the south side of Highway Avenue and the right-of-way. The 1886 Sanborn Fire Insurance Map for Covington Kentucky depicts a single story frame residence at this location, and the 1937 Sanborn Fire Insurance Map depicts a two story wood frame flat at the same location.³⁷⁷

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a stone wall feature in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is

³⁷⁷ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1986). Sheet 7; Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 41

House

KEC-1039

Circa 1930

312 Wright Street

Covington, KY 41011

39.086926, -84.526124



Plate 286. House, looking NE.

Description:

This property is a circa 1930 one story Bungalow. Its façade has a W-D-W fenestration pattern. This building has a front gabled asphalt shingle covered roof, and its exterior is clad in wood shingles. The resource rests upon a rusticated concrete block foundation. The façade has vinyl slider replacement windows, and the remaining elevations have 1/1 vinyl replacement windows. A square window opening, void of a window, is present within the façade's roof gable. This roof gable, supported by two wood columns, covers the full recessed porch. Stone entry piers frame the porch entrance, which are flanked by a modern wood lattice balustrade. A full length circa 1960 metal awning covers the front of the porch. This property is first depicted on the 1937 Sanborn Fire Insurance Map for Covington, Kentucky.³⁷⁸

³⁷⁸ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early to mid-twentieth century Bungalow in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 42

House

KEC-1040

Circa 1930

310 Wright Street

Covington, KY 41011

39.087058, -84.52615



Plate 287. House, looking NE.

Description:

This property is a circa 1930 single story Bungalow. Its façade has a W-D-W fenestration pattern. The cross gabled roof has an asphalt shingle covering and an interior brick chimney. Its exterior has a stucco veneer. The resource rests on a rusticated concrete block foundation. The façade features paired 3/1 wood sash windows, which flank a central bay, front gabled entry porch that covers the primary entry. Entry is accomplished through an original four panel wood door with two light sidelights. The remaining elevations have 3/1 wood sash windows. A temporary metal frame carport is located on the driveway north of the primary resource. This property is first depicted on the 1937 Sanborn Fire Insurance Map for Covington, Kentucky.³⁷⁹

³⁷⁹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.



Plate 288. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early to mid-twentieth century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 43

House

KEC-1042

Circa 1930

308 Wright Street

Covington, KY 41011

39.087195, -84.526176



Plate 289. House, looking NE.

Description:

This resource is a circa 1930 single story Bungalow. The façade has a W-W-D fenestration pattern. Its cross-gable roof has an asphalt shingle covering and its exterior is clad in vinyl siding. The residence rests on a rusticated concrete block foundation. Its vinyl replacement windows have 1/1 light patterns. The north elevation chimney has been removed above the roofline. The entry porch is a single bay front gable covering, supported by decorative metal columns, and features a metal balustrade. This property is first depicted on the 1937 Sanborn Fire Insurance Map for Covington, Kentucky.³⁸⁰

³⁸⁰ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.



Plate 290. House, looking SE.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early to mid-twentieth century Bungalow in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 44

House

KEC-1044

Circa 1930

306 Wright St.

Covington, KY 41011

39.087334, -84.526228



Plate 291. House, looking NE.

Description:

This property consists of a circa 1930 single story Bungalow. The façade features a W-W-D fenestration pattern. Its side gabled asphalt shingle covered roof features an interior brick chimney. The exterior has a stucco veneer and wood shingles are present within the roof gables. The residence rests on a parged foundation with a south elevation lower level integral garage. The windows on the façade are paired 3/1 wood sashed windows, flanked by non-operational shutters. The windows on the remaining elevations are 3/1 wood sash, some are paired, and the visible wood basement window has a 2/1 glazing pattern. The façade's south bay entry is covered by a front gable door hood, partially closed with arched wood planks, and features wood columns. This property is first depicted on the 1937 Sanborn Fire Insurance Map for Covington, Kentucky.³⁸¹

³⁸¹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.



Plate 292. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early to mid-twentieth century Bungalow in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 45

Edwin Forrest Residence

KEC-1041

Circa 1880

309 Wright St.

Covington, KY 41011

39.087171, -84.526662



Plate 293. Edwin Forrest residence, looking west.

Description:

This property includes a circa 1880 residence and stone retention wall. The primary resource is a two story central passage residence. Its side gabled roof has an asphalt shingle covering and its exterior is clad in vinyl siding. The foundation was not visible at the time of the field survey. The windows are 1/1 vinyl replacements and vinyl sliders. A single metal frame louver window is located on the second story of the façade's central bay. The full-length porch features a half-hipped roof supported by four wood posts and wood balustrade. This porch covers a central bay entry with a wood Craftsman style door. A set of poured concrete steps lead to the main entry from Wright Street. The northern side of the steps is lined with a stone wall which transitions into a late nineteenth century stone retention wall (B) located on the eastern property line, west of Wright Street and the right of way. This wall is approximately four to five feet in height, shows signs of significant deterioration, and is partially covered with overgrown vegetation.

This residence was the former property of Edwin Forrest. Forrest (1806-1872) was an actor who resided in Covington beginning in 1839, when he purchased a tract of land from Israel Ludlow and constructed

this 11-room home know a “Forrest Hill.”³⁸² The 1877 City Atlas of Covington, Kentucky show Forrest owning the surrounding tracks of land surrounding this property, bound by Highway Avenue to the north, Spring Street to the south, Western Avenue to the east, and Oakes Street to the west.³⁸³ Today, Spring and Oaks Streets are no longer public city streets and have been overtaken by the natural elements.



Figure 83. Left: 1877 image of the Forrest Subdivision.³⁸⁴ Right: Picture of Edwin Forrest, circa 1870.³⁸⁵

Edwin Forrest was the fifth born of seven children in Philadelphia on March 9, 1806.³⁸⁶ At the age of fourteen, Forrest made his acting debut at Philadelphia’s Walnut Theater and soon after joined a traveling show referred to as Collins and Jones Troupe.³⁸⁷ The show toured to cities throughout the Ohio River Valley, but in 1823, after a show in Lebanon, Ohio, Collins and Jones traveling troupe disbanded.³⁸⁸

³⁸² Paul Tenkotte and James Claypool, *The Encyclopedia of Northern Kentucky*, (Lexington: The University Press of Kentucky, 2009), 357-358.

³⁸³ C.M Hopkins, *City Atlas of Covington, Kentucky*, (Philadelphia, C.M. Hopkins, C.E., 1877), 46.

³⁸⁴ *Ibid.*

³⁸⁵ Paul Tenkotte, James Claypool, and David Schroeder, *Gateway City: Covington, Kentucky, 1815-2015*, (Covington: Clerisy Press, 2015), 279.

³⁸⁶ Paul Tenkotte and James Claypool, *The Encyclopedia of Northern Kentucky*, 357.

³⁸⁷ *Ibid.*

³⁸⁸ *Ibid.*

Homeless without a penny to his name, Forrest walked the 40-mile trek to Newport, Kentucky to stay with a friend, Rachel Riddle, who he met while working at the Prune Street Theater in Philadelphia. While in Newport, Forrest became friends with another fellow actor James Taylor III, the son of James Taylor, Jr., the founder of Newport.³⁸⁹

Newport is where Edwin Forrest received his big break in acting. One evening while performing in a show at the Newport Barracks, the actor got drunk and was unable to perform his part. Taylor asked Forrest to fill in for the sum of five dollars.³⁹⁰ After performing in Newport shows and performances for a month's time, Forrest moved to Lexington, Kentucky and starred in supporting roles in the local theaters, which led to opportunities in New York City, one where he starred in Othello at the Bowery Theatre.³⁹¹ For the next several years, he traveled throughout the United States and Europe, becoming increasingly popular and receiving many accolades.³⁹² Eventually, his acting career brought him back to Cincinnati in 1839, when he purchased this Covington property from Israel Ludlow and built "Forrest Hill."³⁹³ Today, Forrest is known as one of the greatest nineteenth century American Shakespearian actors.

It is unknown if this property was his primary residence, as he also owned "a castle" along the Hudson River in New York and a Brownstone mansion in Philadelphia.³⁹⁴ Edwin Forrest's name does not appear in the Covington, Kentucky City Directories for the dates that he is known to have owned the property, but is referenced as staying at "Forrest Hill" whenever he "played to crowds in Cincinnati."³⁹⁵ The 1877 City Atlas of Covington, Kentucky does show Forrest as owning the property, but this map was published five years after his death.³⁹⁶

³⁸⁹ Ibid.

³⁹⁰ Ibid.

³⁹¹ Ibid

³⁹² Ibid, 358

³⁹³ Ibid.

³⁹⁴ Ibid.

³⁹⁵ Paul Tenkotte, James Claypool, and David Schroeder, *Gateway City: Covington, Kentucky, 1815-2015*, 279.

³⁹⁶ C.M Hopkins, *City Atlas of Covington, Kentucky*, (Philadelphia, C.M. Hopkins, C.E., 1877), 46.



Plate 294. Edwin Forrest residence and stone wall (B), looking NW.

NRHP Eligibility: Not Eligible

Although this property does have a historic association with a significant person, Edwin Forrest, who was notable as one of the greatest nineteenth century American Shakespearean actors, the house has experienced substantial unsympathetic modifications over time such that it no longer retains sufficient historic integrity to convey its significance under Criterion B. Its windows have been replaced, it has been vinyl sided, the front porch appears to be a later replacement, and chimneys appear to have been removed. As a result of its compromised historic integrity, this property is also Not Eligible under Criterion A or C.

Effects Assessment: Not Applicable

Field Site 46

House

KEC-1043

Circa 1935

307 Wright Street

Covington, KY 41011

39.087339, -84.526693



Plate 295. House and garage (B), looking SW.

Description:

This property contains a house and a garage. The primary resource is a circa 1930 two story residence. The façade features a W-D-W-W fenestration pattern. Its front gable roof has an asphalt shingle covering and its exterior is clad in vinyl siding. The foundation is concrete block. The vinyl sash replacement windows have a 1/1 light pattern, and the basement windows are enclosed by wood panels. A full two story porch with covered balcony is located on the façade. This porch is supported by three brick columns and has been slightly enlarged by the addition of a wood frame deck. The modern upper level balcony is supported by three wood posts and features an open wood frame rail.

A single bay garage (B) is located to the east of the primary resource, just west of Wright Street and the right-of-way. The 1937 Sanborn Insurance Map indicates this garage as being constructed of concrete block.³⁹⁷ Its front gable roof has an asphalt shingle covering and the visible sections of the exterior have been parged. The façade of this building appears to have been extended by an east elevation frame

³⁹⁷ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

shed addition to accommodate larger vehicles. This property is first depicted on the 1937 Sanborn Fire Insurance Map for Covington, Kentucky.³⁹⁸



Plate 296. House and garage (B), looking NW.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early to mid-twentieth century residence. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Covington or Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

³⁹⁸ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

Field Site 47

House

KEC-1045

Circa 1930

305 Wright Street

Covington, KY 41011

39.087443, -84.526698



Plate 297. House and stone wall (B), looking west.

Description:

This property includes a residence and a stone retention wall. The primary resource is a 1.5 story, constructed circa 1930, with lower level integral garage. Its façade features a W-W-W-D fenestration pattern. The hipped roof features an asphalt shingle covering and a roof dormer on its front (eastern) roof slope. The exterior has a stucco veneer and the foundation has been parged. The windows are wood sash with 3/1 light patterns. The entry is within a northern bay recessed entry porch, and features an arched wood t-panel door with stone surround. The stone surround appears to be a later modification. The porch is supported by a single post and partially enclosed balustrade, both with stucco veneers. The lower level integral garage retains its original six-light wood panel swinging bay doors. The 1937 Sanborn Fire Insurance Map of Covington, Kentucky depicts this property as a frame building with a full frame porch, indicating the stucco veneer and partial porch enclosure were later modifications.³⁹⁹

³⁹⁹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

The second resource on the property is an early twentieth century stone retention wall (B). This wall is approximately two-feet in height and is located east of the primary resource, adjacent to Wright Street and the right-of-way. This wall is in good condition and displays evidence of being reconstructed or repaired using the original stone materials.



Plate 298. House, looking SW.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early to mid-twentieth century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 48

House
KEC-1046
Circa 1930
303 Wright St.
Covington, KY 41011
39.08757, -84.526732



Plate 299. House, looking NW.

Description:

This property contains a residence and a stone retention wall. The primary resource is a 1.5 story circa 1930 residence. Its façade features a D-W-W-W fenestration pattern. The front gable roof features an asphalt shingle covering and full-length shed roof dormers on the north and south roof slopes. Its exterior is clad in vinyl siding and the building rests on a parged foundation. The windows are vinyl replacements with 3/1 light patterns. The façade's first story windows are in a set of three and the second story windows are paired. Non-operational shutters flank both sets of windows. A single decorative metal column supports the façade's southern bay recessed entry porch. The 1937 Sanborn Fire Insurance Map of Covington, Kentucky depicts this property as a frame building with a full frame porch, indicating the partial porch enclosure is a later modification.⁴⁰⁰

The second resource on the property is an early twentieth century stone retention wall (B). This wall is approximately two feet in height and is located east of the primary resource, adjacent to Wright Street

⁴⁰⁰ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

and the right-of-way. This wall is in good condition and displays evidence of being reconstructed or repaired using the original stone materials.



Plate 300. House and stone wall (B), looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early to mid-twentieth century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 49

House

KEC-1047

Circa 1930

301 Wright street

Covington, KY 41011

39.087706, -84.526779



Plate 301. House and stone wall, looking SW.

Description:

This property contains a residence and a stone retention wall. The primary resource is a 1.5 story circa 1930 residence. Its hipped roof has an asphalt shingle covering, an interior brick chimney, and a roof dormer on its eastern roof slope. Its exterior is clad in vinyl siding and rests on a rusticated concrete block foundation. The windows are metal replacements with 1/1 light patterns. The façade's first story windows are in a set of three. A single post, clad in vinyl siding, supports the façade's southern bay recessed entry porch. The 1937 Sanborn Fire Insurance Map of Covington, Kentucky depicts this property as a frame building with a full frame porch, indicating the partial porch enclosure is a later modification.⁴⁰¹

The second resource on the property is an early twentieth century stone retention wall (B). This wall is approximately three feet in height and is located east of the primary resource, adjacent to Wright Street

⁴⁰¹ Sanborn Map Company, *Insurance Maps of Covington, Kenton County, Kentucky, Volume 1*, (New York, Sanborn Map Company, 1937). Sheet 1.

and the right-of-way. This wall is in good condition and displays evidence of being reconstructed or repaired using the original stone materials.



Plate 302. House and stone wall, looking NW.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early to mid-twentieth century residence in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 51

House

KEC-1049

Circa 1885

214 Wright Street

Covington, KY 41011

39.088457, -84.526434



Plate 303. House, looking southeast.

Description:

This single story frame house was constructed circa 1885. The front gable roof is covered with asphalt shingles and the house is clad in vinyl siding. The fenestration pattern is D-W. The window on the façade is a fixed picture window and the (north side) secondary elevation features 1/1 vinyl sash and a vinyl slider window. The main entry door is a nine-light modern entry door. A full-length four-bay shed porch roof, supported by wood posts, covers a secondary façade. The foundation was not visible at the time of the survey.

This property is depicted on maps as early as the 1877 City Atlas of Covington, Kentucky.⁴⁰² The form of the house does not appear to have changed over time. The 1886, 1894, and 1909 Sanborn Fire

⁴⁰² C.M Hopkins, *City Atlas of Covington, Kentucky*, (Philadelphia, C.M. Hopkins, C.E., 1877), 46.

Insurance Maps show the house as a single story frame dwelling with a shingle roof, with the only change being the addition of a porch depicted in 1894 and after.⁴⁰³



Plate 304. House, looking northeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late nineteenth century house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴⁰³ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

Field Site 52

House

KECL-1034

Circa 1890

641 Crescent Avenue

Covington, KY 41011

39.082895, -84.52365



Plate 305. House, looking west.

Description:

This two story frame house was constructed circa 1890. The house may have evolved from a Northern Kentucky Townhouse although it has been so heavily modified that this is difficult to confirm from its exterior. The roof is front gabled, with gable returns on the façade, and is covered with asphalt shingles. The house is clad in vinyl siding. The fenestration pattern is D-W, and the windows are 1/1 wood sash. The entry is a modern six-panel door protected by a metal storm door. A two-story, non-historic wood porch on the façade is supported by wood posts. The foundation wall is continuous limestone that appears to have been parged in places. A mortared cut stone retaining wall (B) dating to the time the house was built and topped with crenellated coping is located in front of the house at the sidewalk. The wall runs the length of the property with an opening for poured concrete stairs leading to the walkway

to the house. The house on the north side of this property was demolished in 2006 and that property is now vacant and overgrown.⁴⁰⁴

This property first shows up on Sanborn Fire Insurance maps in 1909.⁴⁰⁵ The earlier maps do not depict this section of Crescent Avenue as it had not been extended and connected to what was Shawk Avenue.⁴⁰⁶ In 1909, this property was numbered 643 but was changed to 641 Crescent Avenue when the city renumbered the properties in this area. The 1909 Sanborn Fire Insurance map depicts this property as a two story frame dwelling with a slate or tin roof, with a one story wrap around porch on the façade and south elevation and a one story porch on the rear.⁴⁰⁷ By 1954, the wrap around porch was reduced to a front porch only, but the rear one story porch remained intact.⁴⁰⁸ This property was last surveyed as KECL-1034 in December 2006 and determined ineligible.

⁴⁰⁴ The property was previously surveyed December 2006; however, the Kentucky Individual Buildings Survey Form states the building was demolished in 2009. As this was seemingly an error in typing the date of demolition, Cardno, now Stantec, has confirmed through historic aerial maps that the building was indeed standing in 2005 but not in 2006.

⁴⁰⁵ Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

⁴⁰⁶ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/.

⁴⁰⁷ Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

⁴⁰⁸ Sanborn Map Company, ; Republished 1954 Vol. 1, 1954, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_007/.



Plate 306. House, looking northwest.



Plate 307. Mortared stone wall (B), looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late nineteenth century house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 53

Mortared Stone Wall
KECL-1035
Circa 1880
637 Crescent Avenue
Covington, KY 41011
39.082982, -84.523525



Plate 308. Mortared stone wall, looking west.

Description:

This is a vacant lot with a circa 1880 mortared cut stone wall at the sidewalk. The wall runs the length of the property and appears to be topped by crenellated coping. It appears that there may be an opening for a stairway up to the property, but the wall is overgrown by vegetation making it hard to determine many details. The circa 1880 house that was on this property was demolished in 2006.⁴⁰⁹

This property first shows on Sanborn Fire Insurance Maps in 1909 as a 1.5 story frame dwelling with a slate or tin roof, a one story front porch, and a chicken house at the rear of the property.⁴¹⁰ By 1954, the

⁴⁰⁹ The property was previously surveyed December 2006; however, the Kentucky Individual Buildings Survey Form states the building was demolished in 2009. As this was seemingly an error in typing the date of demolition, Cardno, now Stantec, has confirmed through historic aerial maps that the building was indeed standing in 2005 but not in 2006.

⁴¹⁰ Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

chicken house is not depicted on the Sanborn map, and it appears that a portion of the rear ell of the house is gone.⁴¹¹ This property was last surveyed as KECL-1035 in December 2006 and determined ineligible. The house and associated outbuildings were demolished between 2006 and the present survey.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a stone wall in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴¹¹ Sanborn Map Company, ; Republished 1954 Vol. 1, 1954, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_007/.

Field Site 54

House

KECL-1036

Circa 1900

635 Crescent Avenue

Covington, KY 41011

39.083067, -84.523662



Plate 309. House and retaining wall (B), looking west.

Description:

This two story frame house was constructed circa 1900. The roof is front gabled and covered with asphalt shingles. The house is clad in vinyl siding. The fenestration pattern is D-W with 1/1 and 6/6 vinyl sash windows and a modern six-panel entry door. A porch wraps around from the façade to the southeastern elevation. The porch has arched spandrels resting on square columns and a wood railing and balustrade. The foundation wall was not visible at the time of the survey. A modern mortared cut stone retaining wall (B) is at the sidewalk with a second tier above. The wall runs the length of the property with a poured concrete stairway at the southern end. The wall has modern concrete caps and a modern fence on the lower tier. The house on the south side of this property was demolished in 2006 and that property is now vacant and overgrown.⁴¹²

⁴¹² The property was previously surveyed December 2006; however, the Kentucky Individual Buildings Survey Form states the building was demolished in 2009. As this was seemingly an error in typing the date of demolition, Cardno, now Stantec, has confirmed through historic aerial maps that the building was indeed standing in 2005 but not in 2006.

This property first shows on Sanborn Fire Insurance Maps in 1909 as a 1.5 story frame dwelling with a slate or tin roof and a one story porch and rear ell.⁴¹³ By 1954, a portion of the rear ell appears to be gone.⁴¹⁴ This property was last surveyed as KECL-1036 in December 2006 and determined ineligible.



Plate 310. House and retaining wall (B), looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an early twentieth century house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴¹³ Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

⁴¹⁴ Sanborn Map Company, ; Republished 1954 Vol. 1, 1954, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_007/.

Field Site 55

House

KECL-1053

Circa 1880

625 Crescent Avenue

Covington, KY 41011

39.083457, -84.523758



Plate 311. House and retaining wall (B), looking northwest.

Description:

This 1.5 story frame house was constructed circa 1880. The standing seam metal roof is side gabled with an interior brick chimney at the peak and a box gutter at the base. The house is clad in wood and Hardie Board siding. The fenestration pattern is D-W, but the windows have been boarded over. The entry is a modern six-panel door. The house rests on a continuous stone foundation. A rusticated cut stone block addition with a basement level storage area (accessed by paired, hinged doors) below and a full width porch with wooden railing above is likely an early addition built across the front of the house at the basement level. A seam is visible between the main foundation and the porch/storage addition foundation. To the south of the house is a circa 1880 mortared cut stone retaining wall (B) with an opening for poured concrete stairs leading up to the property. The parking area to the south of the house had a detached garage at the time of the last survey in 2006, which has since been demolished.

This property shows on the 1909 Sanborn map as a one story frame dwelling with a slate or tin roof and a one story outbuilding in the rear.⁴¹⁵ The 1886 and 1894 Sanborn maps do not depict this particular area of what is now Crescent Avenue.⁴¹⁶ This property was last surveyed as KECL-1053 in December 2006 and determined ineligible.



Plate 312. House and retaining wall (B), looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late nineteenth century house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴¹⁵ Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

⁴¹⁶ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/.

Field Site 56

Duplex Northern Kentucky Townhouse
KECL-1057
Circa 1890
621/619 Crescent Avenue
Covington, KY 41011
39.083597, -84.523806



Plate 313. Duplex and retaining wall (B), looking west.

Description:

This 1.5 story frame Northern Kentucky Townhouse duplex was constructed circa 1890. The hipped roof is covered with asphalt shingles and has two front gabled dormers. The duplex is clad in vinyl siding. The fenestration pattern is WW-WW. The windows are 1/1 vinyl sash set in projecting bays and 1/1 vinyl sash in the dormers. The main entries for the duplexes are on either side of the building and are one light over two-panel doors. The building rests on a painted continuous brick foundation wall. There is a mortared cut stone retaining wall (B) at the front of the parcel along the sidewalk and a modern concrete block retaining wall around the driveway. The retaining wall runs the length of the property and has an opening at the north and south sides for stone stairs leading up to the walkways.

The 1886 and 1894 Sanborn maps do not depict this area of what is now Crescent Avenue.⁴¹⁷ The duplex does show on the 1909 as a 1.5 story, frame duplex with bay windows on the façade and a slate or tin

⁴¹⁷ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/.

roof.⁴¹⁸ By 1954 the roof was shown as a composition roof, but the building retained its basic form.⁴¹⁹ This property was last surveyed as KECL-1057 in December 2006 and determined ineligible.



Plate 314. Duplex and retaining wall (B), looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Northern Kentucky Townhouse duplex in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴¹⁸ Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

⁴¹⁹ Sanborn Map Company, ; Republished 1954 Vol. 1, 1954, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_007/.

Field Site 57

Northern Kentucky Townhouse

KECL-1054

Circa 1880

617 Crescent Avenue

Covington, KY 41011

39.083671, -84.523842



Plate 315. House and retaining wall (B), looking west.

Description:

This 2.5 story frame Northern Kentucky Townhouse was constructed circa 1880 in the Italianate style. The house is characterized by decorative wooden brackets beneath the roofline in the cornice. The house is clad in vinyl siding. The fenestration pattern is W-W, and the windows are 1/1 vinyl sash that have been downsized from the original openings. The entry on the north side of the house is a modern six-panel door. The foundation is continuous mortared cut stone that has been parged in some areas. A side, screened-in porch addition with a shed roof is attached to the north elevation. A small wrought iron fence at the southeast corner of the house separates the front yard from the walkway of the duplex to the south. There is a circa 1880 mortared cut stone retaining wall (B) at the sidewalk in front of the house. The wall runs the length of the property with a stone post at an opening on the south side for poured concrete steps leading up to the walkway.

This property is first depicted on the 1909 Sanborn map. The 1886 and 1894 Sanborn maps do not have this area on them. The form of this property has not gone through much change throughout the years. The 1909 Sanborn map shows this residence as a two story frame dwelling with a shingle roof on the

two story section and slate or tin on the single story rear section. At that time, in 1909, there was a single story outbuilding to the northwest of the residence.⁴²⁰ By 1954, the Sanborn map shows a single story porch on the north elevation and there is no outbuilding.⁴²¹ This property was last surveyed as KECL-1054 in December 2006 and determined ineligible.



Plate 316. House and retaining wall (B), looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Northern Kentucky Townhouse in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

⁴²⁰ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

⁴²¹ Sanborn Map Company, ; Republished 1954 Vol. 1, 1954, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_007/.

Effects Assessment: Not Applicable

Field Site 59

House

KECL-1059

Circa 1890

609 Crescent Avenue

Covington, KY 41011

39.083892, -84.523945



Plate 317. House and retaining wall (B), looking west.

Description:

This 2.5 story frame house was constructed circa 1890. The house may have evolved from a Northern Kentucky Townhouse, although it has been so heavily modified that this is difficult to confirm from its exterior. The house is characterized by an extended front gable at the apex of the front gabled roof. This extended gable features wooden, Queen Anne style ornamentation replicating the look of half-timbering and beads with small decorative brackets. Beneath the edges of the gable are large decorative, wooden brackets. Smaller wooden brackets are tucked under the edges of the gable returns. A large pent roof, supported by large decorative brackets, is located above the second level door. The front gabled roof is covered with asphalt shingles. The fenestration pattern is W-DD-W. The windows are single pane, fixed picture windows and 1/1 vinyl sash. The entry on the façade is a modern sliding glass door. The house has a two story, non-historic deck style porch with wooden railing supported by dimensional lumber supports. The house rests on a continuous cut stone foundation. A mortared cut stone retaining wall (B) is located in front of the house at the sidewalk. The two tier wall runs the length of the property with an opening at the south end for stone steps that lead up to the walkway.

This property is first depicted on the 1909 Sanborn Fire Insurance Maps as the earlier ones did not map this area. In 1909, this was shown as a 2.5 story frame dwelling with a slate or tin roof, a one story front porch, and a one story back portion.⁴²² On the 1954 Sanborn map it is shown as a two story dwelling with a shingle roof, and no single story portion of the dwelling is noted at the rear.⁴²³ This property was last surveyed as KECL-1059 in December 2006 and determined ineligible.



Plate 318. Detail of roof hood.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴²² Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

⁴²³ Sanborn Map Company, ; Republished 1954 Vol. 1, 1954, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_007/.

Field Site 60

Northern Kentucky Townhouse Duplex
KECL-1044
Circa 1880
603/601 Crescent Avenue
Covington, KY 41011
39.084083, -84.523936



Plate 319. Duplex, looking northwest.

Description:

This 1.5 story frame duplex was constructed circa 1880. Its original configuration may have been that of a Northern Kentucky Townhouse. According to Sanborn Fire Insurance Maps, this former single family dwelling had been reconfigured as a duplex by 1909. The side gabled roof is covered with asphalt shingles with two shed roof dormers. The duplex is clad in vinyl siding. The fenestration pattern is D-W-W-W. The windows are 1/1 vinyl sash, a metal sash slider, and a fixed six-light vinyl window. There is a twelve-light door on the façade and there are two six-panel doors - one on the south elevation and one on the north elevation, similar to the NKY Townhouse plan. A front gabled porch supported by wood posts with wood railings and balustrade shelters the façade's entry door and its nearest facade window. The foundation of the house is a continuous parged stone. Visible from the front elevation, the house has two one-car basement level garages, likely added in the 1909 building campaign, accessed by paired hinged wooden doors. The southernmost basement level garage, built of rusticated block and located beneath the porch, appears to be an addition due a space between the original stone foundation wall and its rusticated block walls. Since the duplex spaces were historically accessed via side doors, the front

porch itself was likely added at the same time as the window at the far south/left of the façade was modified into a door. The other basement level garage appears to be original and is located directly beneath the house. The property directly to the south of this house had a house on it at the time of the last survey in 2006. That house has since been demolished.

This property is first depicted on the 1886 Sanborn Fire Insurance Map as a 1.5 story, frame, single dwelling with a shingle roof, a one story rear portion, and a one story outbuilding behind the house. The 1894 Sanborn map depicts the same, minus the outbuilding. By 1909, this property had been converted into a duplex, and it is to be noted that a one story outbuilding in the same location as the 1886 map is depicted behind the residence.⁴²⁴ The 2006 Kentucky Individual Buildings Survey Form states that this building was once again being used as a single dwelling; however, the current survey shows two numbers on the building, which may indicate that it has been converted into a duplex once again. This property was last surveyed as KECL-1044 in December 2006 and determined ineligible.



Plate 320. House, looking southwest.

⁴²⁴ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Northern Kentucky duplex in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 61

Commercial Building/Corken Steel Products Company
KEC-1053
Circa 1956
320 Crescent Avenue #1208
Covington, KY 41011
39.086751, -84.524047



Plate 321. Commercial building, looking southeast.

Description:

The original part of this commercial building was constructed circa 1956 and has had many additions since that time. The metal panel roof is front gabled, and the building is clad in vertical metal panel siding. The fenestration pattern is DD-W-W. The windows are fixed pane, metal framed picture windows. The double entry doors are steel. The foundation is continuous parged concrete block. An addition with a metal panel shed roof is attached to the north side of the primary resource. This addition is clad in vertical metal panel siding, has three truck loading docks, and a pedestrian entry. Another addition is attached to the north side of the previous addition. This addition has a metal panel shed roof, is clad in vertical metal panel, and has triple fixed-pane picture windows in metal frames and a full-length glass steel entry door. Attached to the north side of this is a shed roof addition that has metal panel roofing and vertical metal panel siding. The River Center Collision Center is attached to the rear of Corken Steel Products.



Plate 322. Commercial building, looking southeast.



Plate 323. Commercial building addition, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a 1950s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 62

Commercial Building/Cincinnati Closets

KEC-1052

Circa 1969

677 West 3rd Street

Covington, KY 41011

39.087379, -84.524186



Plate 324. Commercial building, looking southeast.

Description:

The original part of this commercial building was constructed circa 1969. The roof is front gabled and covered with metal panel roofing. The building is clad in vertical metal siding with a fenestration pattern of D-D-W. The window is 1/1 metal frame. There is a large metal overhead garage door and a modern steel entry door on the façade. The foundation is poured concrete. A small shed-roofed addition is attached to the southwest elevation of the building. This addition has a metal panel roof and is clad in vertical metal panel siding. The windows are vertically situated with a long pane over a small square pane. The double steel entry doors are protected by a flat porch roof supported by metal posts.



Plate 325. Commercial building, looking northeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late 1960s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 63

Commercial Building/Performance Select Cars

KEC-1056

Circa 1968

669 West 3rd Street

Covington, KY 41011

39.087168, -84.523309



Plate 326. Commercial building, looking southeast.

Description:

This commercial building was constructed circa 1968. The roof is flat, and its roofing material could not be determined at the time of the survey. The building is clad in Dryvit Stucco panels. The fenestration pattern is W-W-D-W. The windows are fixed pane, metal-framed picture windows. The door is full-length glass flanked by a full-length sidelight. The foundation is a combination of concrete block and poured concrete. A four-bay garage is attached to the rear of this building. The garage has a metal panel shed roof and is clad in vertical metal panel siding.



Plate 327. Commercial building, Garage, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late 1960s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 64

Garage/Workshop
KEC-1054
Circa 1955
673 West 3rd Street
Covington, KY 41011
39.087337, -84.523815



Plate 328. Garage/Workshop, looking southwest.

Description:

This commercial concrete block garage/workshop was constructed circa 1955. The roof is cross-gabled and covered with asphalt shingles. The windows throughout the building are 1/1 metal sash. The façade is dominated by one large metal overhead garage door. A concrete block addition is attached to the southeast elevation. The roof of the addition is covered with asphalt shingles. The addition has a large garage door and a steel pedestrian entry door.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a mid-twentieth century commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does

not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 65

Commercial Building/Liquor City

KEC-1051

Circa 1968

680 West 3rd Street

Covington, KY 41011

39.087882, -84.524306



Plate 329. Commercial building, looking northeast.

Description:

This concrete block commercial building was constructed circa 1968. It has a flat roof of undetermined material surrounded by a vertically ribbed false mansard roof sheathed in aluminum. The false mansard roof extends across three elevations of the building and serves as an awning to shelter the storefront windows and entries on the southeast and southwest elevations. The northwest, southwest, and southeast elevations are clad in a modern brick veneer. The windows are large, fixed pane storefront windows in metal frames. The entry is a full-length glass storefront door. The foundation was not visible at the time of the survey.



Plate 330. Rear of Commercial building, looking northeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late 1960s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 66

Commercial Building/Discount Tobacco Outlet and D.E.P.'s Fine Wine and Spirits

KEC-1055

Circa 1968

670 West 3rd Street

Covington, KY 41011

39.087978, -84.523883



Plate 331. Commercial building, looking northeast.

Description:

This commercial retail building was constructed circa 1968. The building has a flat roof of undetermined material with shed roof extensions at the north and east elevations. The main roof is surrounded by a false mansard roof covered in asphalt shingles. A large maroon vinyl awning which also serves as signage for both businesses in this building (Save-On-Cigs/Discount Tobacco Outlet and D.E.P.'s Fine Wine & Spirits) has been installed across the front elevation of the false mansard roof. The building appears to be concrete block and its façade is clad in brick veneer. The fenestration pattern is WWW-WW-WW-DD-W. The windows are fixed pane glass in metal frames. The entry to D.E.P.'s Fine Wine and Spirits is a double, full-length glass set of doors. The foundation was not visible at the time of the survey.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a 1960s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for

the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 67

Commercial Building/Rusk Heating and Air Conditioning

KEC-1057

Circa 1968

666 West 3rd Street

Covington, KY 41011

39.08786, -84.523198



Plate 332. Commercial building, looking north.

Description:

This two story commercial building was constructed circa 1968. The metal panel roof is front gabled, and the building is clad in both vertical metal panel siding and board and batten siding. The fenestration pattern is D-W-D-(W-D-W). The windows include both a fixed pane wood frame window and metal sliders. The doors include a full-length glass door and a steel door. There is a single story, front gable portion of the building, likely intended for the business office, attached to the east side of the building. This board and batten addition has a metal panel roof, and its façade has two fixed pane windows framing a full-length glass door flanked by full-length sidelights. Aerial imagery appears to indicate two side gabled additions and a rear, shed roof addition to the two story section as well as a smaller, front gabled rear addition to the single story addition. The foundation of the building is poured concrete.



Plate 333. Commercial building, looking northeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late 1960s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 68

Commercial Building/Holiday Inn Cincinnati-Riverfront

KEC-1060

Circa 1967

600 West 3rd Street

Covington, KY 41011

39.088165, -84.520595



Plate 334. Commercial building, Holiday Inn Cincinnati-Riverfront, looking northwest.

Description:

This four story, brick and stone veneer hotel building was constructed circa 1969 and renovated circa 2005. The main roof of the single story lobby portion of the building is flat. The roofing material could not be determined at the time of the survey. At the West Third Street elevation of the single story lobby portion of the building is a metal, arched roof porte cochere resting on battered stone veneer supports, which provides shelter to vehicles during check-in. Windows in the single story lobby portion of the building are fixed pane in metal frames and entrance to the lobby is provided by glass automatic sliding doors.

A flat-roofed breezeway with metal-framed, fixed pane windows likely provides interior access to the hotel's two conference rooms and connects the single story lobby portion of the building to the main, four story hotel portion. This hotel has a flat roof, the covering of which could not be determined at the time of the survey. A metal false mansard roof wraps around both the single story and four story portions of the main, flat roof. On the West Third Street elevation, the false mansard roof is interrupted at the center by a parged, stepped false front with Holiday Inn signage and cornice details. At the sides

of the building are smaller parge false fronts also with cornice details. Visually differentiating the fourth story of the hotel are an upper and a lower cornice - one located just beneath the metal false mansard roof above the windows and another just beneath the windows. The windows in the four story hotel portion of the building are metal sliders and/or metal sliders over two fixed pane windows. Exterior entrances into the four story hotel portion of the building from the parking lot are full-length glass doors, flanked by two pane sidelights. The foundation was not visible at the time of the survey.

Holiday Inn Riverfront opened in the late 1960s.⁴²⁵ At the time, it had a restaurant attached to the side of the building and a conference room and small bar in the basement level. By the 1970s hotel management wanted to expand by adding entertainment to the hotel. Jeff Ruby had been hired by Holiday Inn in downtown Cincinnati and had successfully opened a nightclub there, after which the Holiday Inn promoted him to regional director over the seven Holiday Inn hotels in Cincinnati, one of which was the riverfront hotel in Covington. Ruby met Robert Fields, who had also had success in the nightclub business, and in December 1979, the two of them opened a disco nightclub in the Holiday Inn Cincinnati-Riverfront with an archaeological theme, called Dr. Pott's. The décor featured pieces of Peruvian textiles, reproductions of Aztec pottery, and a room that recreated an Aztec temple. For the next year and a half, Dr. Pott's was one of the hottest places in the area to go for dancing, fun, and to see and be seen. Unfortunately, by mid-1981, disco was becoming unpopular, and the nightclub struggled to keep people interested. By 1986, the nightclub had switched over to a comedy club that would be open for a few years.⁴²⁶ Eventually, the club closed, and the Holiday Inn Cincinnati-Riverfront was remodeled in 2005 to its present look.

⁴²⁵ "Holiday Inn Cincinnati-Riverfront," Travel Weekly, accessed July 26, 2022, <https://www.travelweekly.com/Hotels/Covington-KY/Holiday-Inn-Cincinnati-Riverfront-p3700099>.

⁴²⁶ "Dr. Pott's: Archaeology & Disco in the Cincinnati Suburbs," Cardboard America, accessed July 26, 2022, <https://cardboardamerica.org/2017/03/02/dr-potts-archaeology-disco-in-the-cincinnati-suburbs/>.



Plate 335. Commercial building entrance to lobby, looking northeast.



Plate 336. Commercial building breezeway, looking northeast.



Plate 337. Commercial building, hotel room building, looking northeast.



Figure 84. Holiday Inn Cincinnati-Riverfront, circa 1967.⁴²⁷

⁴²⁷ "Dr. Pott's: Archaeology & Disco in the Cincinnati Suburbs," Cardboard America, accessed July 26, 2022, <https://cardboardamerica.org/2017/03/02/dr-potts-archaeology-disco-in-the-cincinnati-suburbs/>.



Figure 85. Dr. Pott's advertisement from 1979.⁴²⁸

NRHP Eligibility: Not Eligible

The Holiday Inn Riverfront with its original, late 1960s appearance, would certainly have retained sufficient historic integrity. In addition to being a good example of a mid-twentieth century hotel building, the hotel also had significance due to its association with a series of successful 1970s local landmark nightclubs – most importantly the circa 1979 Aztec-inspired archaeological themed Dr. Pott's opened by Jeff Ruby and Robert Fields. Although the hotel would formerly have retained historic integrity and significance, a circa 2005 remodeling of the building introduced unsympathetic modifications so substantial that, even if portions of the original building remain, its former appearance is basically indistinguishable.

Effects Assessment: Not Applicable

⁴²⁸ "Dr. Pott's: Archaeology & Disco in the Cincinnati Suburbs," Cardboard America, accessed July 26, 2022, <https://cardboardamerica.org/2017/03/02/dr-potts-archaeology-disco-in-the-cincinnati-suburbs/>.

Field Site 69

Commercial Building/Smilin Smoker N' Liquor and Waffle House

KEC-1061

Circa 1969

311 Philadelphia Street

617 West 3rd Street

Covington, KY 41011

39.087146, -84.520436



Plate 338. Commercial building, looking south.

Description:

This commercial building was constructed circa 1969. The east side of the building houses Smilin Smoker N' Liquor. This two story part of the building has a mansard roof covered with asphalt shingles and an interior brick chimney at the peak. The building is concrete block with brick veneer on the façade. The fenestration pattern is D-WW-D on the lower level with three dormer windows on the upper level. The windows are 1/1 metal sash with the upper level windows set in shallow segmentally arched dormers. The entries are full-length glass in metal frame doors. The west side of the building houses the Waffle House. This part of the building is a single story and has a flat roof. The roofing material could not be determined at the time of the survey. A trademarked yellow false mansard roof containing Waffle House signage wraps around from the top edge of the façade to the west side of the building and is covered in metal panels with a wood shake-type texture. The building is concrete block with rustic brick veneer on the façade that wraps around to the west side of the building. The fenestration pattern is WW-D-D-WW. The windows are fixed pane picture windows in metal frames, and slider windows used for walk up

ordering and pick up. The entries are full-length glass doors in metal frames. The foundation was not visible at the time of the survey.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a late 1960s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 70

Commercial Building/Riverfront Pizza & Sports Bar and Skyline Chili

KEC-1059

Circa 1977

617 West 3rd Street

Covington, KY 41011

39.087288, -84.520908



Plate 339. Commercial building, looking northeast.

Description:

This commercial building was constructed circa 1977. The south side of the building houses Riverfront Pizza & Sports Bar. This part of the building has a mansard roof covered with asphalt shingles. It is clad in brick veneer with vertical wood panel siding at the entry. The windows are fixed pane, metal frame picture windows and fixed pane, wood frame picture windows. The entries are full-length glass, metal frame double doors and a modern entry door with decorative oval glass insert. The north side of the building houses Skyline Chili Parlor. This part of the building has a mansard roof covered with asphalt shingles and is clad in brick veneer. The windows are fixed pane picture windows in metal frames. The entries are full-length glass in metal frames. There are awnings over some of the openings. In both sections of the building, the mansard roof spans the width of the façade as well as shelters façade openings. The foundation was not visible at the time of the survey.



Plate 340. Commercial building, looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. The building does not meet NPS guidance under Criterion Consideration G for Properties That Have Achieved Significance in the Last Fifty Years. It is not a notable example of a late 1970s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 72

Commercial Building/Gentleman Jim's Liquor

KEC-430

Circa 1880

407 Main Street

Covington, KY 41011

39.086203, -84.517717



Plate 341. Commercial building, looking west.

Description:

This 2.5 story brick commercial building was constructed circa 1900 in the Second Empire style. The Mansard roof is covered with asphalt shingles and includes a pedimented front gabled dormer. The dormer pediment has decorative detailing in the gable and brackets below. The windows in the dormer are 1/1 wood sash. The façade has a fenestration pattern of W-W-W-W. The windows are fixed pane plate glass windows surrounded by a cast iron storefront. The second story windows are 1/1 wood sash with decorative lintels above. The entry is on the north elevation and set in a concrete block addition. The foundation was not visible at the time of the survey.

On the 1886 and 1894 Sanborn maps, a one story frame dwelling was in this location. This building is first depicted on the 1909 Sanborn Fire Insurance map. It is shown as a three story brick store with a two story portion at the rear. By 1937, a one story concrete block addition had been attached to the rear with a one story addition running from the concrete block addition to the original part of the building. The 1954 Sanborn map shows a one story frame addition attached to the north side of the concrete

block addition.⁴²⁹ This property was last surveyed as KEC-430 in December 2006 and determined ineligible.



Plate 342. Commercial building, looking south.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Second Empire commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

⁴²⁹ Sanborn Map Company, 1886, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_001/; Sanborn Map Company, 1894, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_002/; Sanborn Map Company, 1909, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_004/; Sanborn Map Company, 1937, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, [Insurance maps of Covington, Kentucky. V.01 - Maps & Atlases - Digital Library \(cincinnati.library.org\)](https://www.loc.gov/item/sanborn03152_007/); Sanborn Map Company, ; Republished 1954 Vol. 1, 1954, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky*, https://www.loc.gov/item/sanborn03152_007/.

Effects Assessment: Not Applicable

Field Site 73

Commercial Building/Smith Muffler

KEC-1067

Circa 1965

435 Main Street

Covington, KY 41011

39.085667, -84.517997



Plate 343. Commercial building, looking southwest.

Description:

This commercial building was constructed circa 1965. The building has a side gable, metal panel roof. It is clad in vertical metal panel siding. The windows are multi-pane fixed glass in metal frames. The entry features a set of double, full-length glass in metal frame doors. There are five garage bays on the west side of the building. The foundation is poured concrete. To the north of the primary resource is a circa 2000 seven-bay detached garage/workshop (B) with a steel pedestrian entry door. The windows in this building are fixed pane in metal frames with metal slider windows on the upper level.



Plate 344. Commercial building. B, Garage/workshop, looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a 1960s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 74

Commercial Building/The Standard Covington

KEC-1066

Circa 1931

434 Main Street

Covington, KY 41011

39.08552, -84.517172



Plate 345. Commercial building, looking northeast.

Description:

This brick and concrete block building, constructed circa 1931, was at one time a gas station but is now a restaurant. The roof is flat; roofing material could not be determined at the time of the survey. The windows are fixed pane plate glass set into metal frames and the entry has a full-length glass door with a transom above. The foundation is a concrete slab. The west and south sides of the building feature modern covered outdoor eating areas with flat roofs supported by square columns resting on piers.

This building is first depicted on the 1937 Sanborn Fire Insurance Map as a service station with brick walls on the south and west elevations, concrete block walls on the north and east elevations, and a concrete floor.⁴³⁰ This service station was named Dick's Standard Service and was started in 1931 by Dick Ostendorf. The station served as a garage and a gas station. In 1952, Mr. Ostendorf expanded the

⁴³⁰ Sanborn Map Company, 1937, Map, *Sanborn Fire Insurance Map from Covington, Kenton County, Kentucky, Insurance maps of Covington, Kentucky. V.01 - Maps & Atlases - Digital Library (cincinnati.library.org)*.

service station by partnering with U-Haul and renting trailers and trucks.⁴³¹ The Ostendorfs eventually stopped selling gas in 1989 due to expensive gas costs, and the gas pump canopies were removed sometime later.⁴³² They then stopped renting U-Hauls in 2011 and were at the time, the longest serving U-Haul dealership.⁴³³ The family run business finally closed in 2015 after more than 80 years in the same location.⁴³⁴ The building was turned into a restaurant and bar called The Standard Covington, in 2020, that pays tribute to the history of the building and the former owners.⁴³⁵



Plate 346. Commercial building, looking northeast from West 5th Street.

⁴³¹ “U-Haul Pioneers Dick and Butch Ostendorf,” History and Culture, accessed July 26, 2022, <https://myuhaulstory.com/2015/01/21/u-haul-pioneers-dick-butch-ostendorf/>.

⁴³² “Butch Ostendorf closing Dick’s Standard station’s doors for last time today, after 84 years in Covington,” Northern Kentucky Tribune, accessed July 26, 2022, <https://www.nkytribune.com/2015/05/butch-ostendorf-closing-dicks-standard-stations-doors-for-last-time-today-after-84-years-in-covington/>.

⁴³³ “U-Haul Pioneers Dick and Butch Ostendorf,” History and Culture, accessed July 26, 2022, <https://myuhaulstory.com/2015/01/21/u-haul-pioneers-dick-butch-ostendorf/>.

⁴³⁴ “Butch Ostendorf closing Dick’s Standard station’s doors for last time today, after 84 years in Covington,” Northern Kentucky Tribune, accessed July 26, 2022, <https://www.nkytribune.com/2015/05/butch-ostendorf-closing-dicks-standard-stations-doors-for-last-time-today-after-84-years-in-covington/>.

⁴³⁵ “The Standard Beautifully Transforms a Neighborhood Landmark,” Dining Reviews, accessed July 26, 2022, <https://www.cincinnati.com/article/the-standard-beautifully-transforms-a-neighborhood-landmark/>.



Figure 86. Dick's Standard service station, circa 1952.⁴³⁶



Figure 87. Dick's Standard service station, after closing.⁴³⁷

⁴³⁶ "U-Haul Pioneers Dick and Butch Ostendorf," History and Culture, accessed July 26, 2022, <https://myuhaulstory.com/2015/01/21/u-haul-pioneers-dick-butch-ostendorf/>.

⁴³⁷ "A Historic 1930s Garage, The Standard is Now the Coolest Eatery and Hang Out Spot in Kentucky," Only In Your State, accessed July 26, [A Former Garage, The Standard Is Now A Cool Hang Out In Kentucky \(onlyinyourstate.com\)](https://onlyinyourstate.com/a-former-garage-the-standard-is-now-a-cool-hang-out-in-kentucky/).

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a 1930s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 79

Bridge No. 059B00041N

KEC-1035

Circa 1968

501 Philadelphia Street

Covington, KY 41011

39.085028, -84.521284



Plate 347. Bridge No. 059B00041N, looking northwest.

Description:

This resource is a circa 1968 pedestrian bridge. The bridge crosses the off ramp of I-75/71 75 south of Fifth Street and west of the northern boundary Goebel Park. Built after the highway was completed to provide access to the park area bisected by the off-ramp, this 149-foot bridge. Round concrete piers support a poured concrete platform and stairs. Chain link fencing surrounds the sides and roof of the bridge. The stairs feature steel handrails.



Plate 348. Bridge No. 059B00041N, looking south.

NRHP Eligibility: Not Eligible

This bridge is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a pedestrian bridge in Covington or Kenton County. It does not display any distinctive characteristics of a type of a bridge design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 80

Goebel Park
KEC-1033
Circa 1909, Circa 1979
501 Philadelphia Street
Covington, KY 41011
39.084232, -84.52077



Plate 349. Carroll Chimes Bell Tower, looking west.

Description:

Goebel Park was initially established as a city park in 1909, but was extensively modified in 1979 when the area was revitalized for the Main Strasse revitalization project. The park includes 6.16 acres owned by the City of Covington, while the rest of the park falls under the right-of-way for Interstate 75. The main feature of the park is the German clock tower, or Glockenspiel, located in the center of the park and called the Carroll Chimes Bell Tower. It was named after Julian Carroll who was the governor of Kentucky at the time of its construction. This brick tower is four stories and was built circa 1979 as a German Storybook style tower. The tower is characterized by the moveable figurines that follow the Pied Piper story, bells that play Carillon music and hourly chimes, a clock surrounded by half timbering with basketweave and herring bone patterned brick, brick buttresses, and topped by standing seam metal tower roof. The high-pitched tower roof features cresting and a flared eave. A round arch wooden door is located at the ground level facing east. The foundation is poured concrete.

There is a timber frame gazebo (B) built circa 1979 in the German Storybook style and located near the tower. This gazebo is characterized by a conical asphalt shingle roof with finial, Tudor arches, and

decorative painting. The base is a raised poured concrete foundation. There is a L-shaped wood timber frame picnic shelter (C) built circa 1979 in the German Storybook style. The shelter is characterized by heavy timber frame, pointed gothic arches, decorative wooden scroll brackets, and decorative painting. The roof is an asphalt shingle gable roof. The shelter features a poured concrete pad foundation. A one story brick building (D) does not appear on any historic maps or aerials but seems to be constructed of historic brick and placed in the park circa 1979. It is possible that this building was elsewhere in Covington and moved to this location, given its basic design and building materials. This outbuilding is characterized by raised brick parapets and a cupola with a square bell-shaped roof. The roof is an asphalt shingle gable roof with gable end interior chimneys. The fenestration pattern is D-W-W. The wooden battened shutters were closed at the time of survey and the windows were not visible. The main door is a wooden, possibly plywood, Dutch-style door. The foundation is concrete block.

Another one story brick outbuilding (E) does not appear on any historic maps or aerials but appears to be constructed of historic brick and in its present location by circa 1978. Newspaper articles suggest this building may have been constructed as a bathhouse for the original Goebel park pool circa 1912, which was demolished in the early 1980s.^{438 439} This outbuilding is characterized by a standing seam metal hipped roof with overhanging eaves and scroll brackets. The fenestration pattern is W-D-W. At the time of survey, the windows were covered by wooden battened shutters. The windows have cast stone lintels and sills. The main entrance is a metal door topped by cast stone hooded lintel. The foundation was not visible. The playground (F) was built circa 2015 and consists of various slides, swings, and other equipment.⁴⁴⁰ A poured concrete sign (G) reading “Covington” is adjacent to the picnic shelters and was built circa 1983. This sign is characterized by the multi-colored painted “Covington,” sign and an abstract small rectangular tower. A bronze plaque is affixed to the abstract tower noting the date “1983” and the people involved in the project. The Pool (H) and Bathhouse (I) were built circa 1979 during the park’s revitalization. The pool and bathhouse’s address is 741 Dalton Street and is owned by City of Covington. The pool is L-shaped. The one story brick bathhouse is in the German Storybook style and is L-shaped. The building is characterized by decorative curvilinear half timbering and a dominant wooden truss gable. The roof is an asphalt shingle gable roof. The fenestration pattern is D-W-W-D. The windows were covered by metal security grating and not visible at the time of survey. Above the decorative half timbering are louvered vents. There are two metal doors. The foundation was not visible at the time of survey. At each building end is a lower section capped by an asphalt shingle gable roof that is supported by columns.

⁴³⁸ *The Kentucky Post and Times-Star*, “Sealed Bids,” August 19, 1912 <https://www.newspapers.com/image/760495117/?terms=%22Goebel%22%20%22park%22%20%22pool%22&match=1> (accessed July 22, 2022).

⁴³⁹ “Di17543,” *Faces & Places: Northern Kentucky Photographic Archives*, Kenton County Public Library, <https://facesandplaces.kentonlibrary.org/> (accessed July 22, 2022).

⁴⁴⁰ Scott Wartman, “Covington preps for \$93K playground at Goebel Park,” *The Courier-Journal*, March 15, 2015 <https://www.newspapers.com/image/105192071/?terms=%22goebel%20park%22&match=1> (accessed July 12, 2022).

In 1909, the City of Covington park officials selected a 15-acre tract of land, owned by the former Governor of Kentucky, William Goebel, to be a new city park. Goebel suffered a gunshot wound from an assassin the day before he was to take office and only served as the 34th Governor of Kentucky for four days.⁴⁴¹ His brother, Arthur Goebel initially offered the tract at 5th Street and Philadelphia Street for \$20,000 and suggested the city name it for his brother.⁴⁴² The land eventually was purchased by the city for \$25,000.⁴⁴³ In 1912, the city requested bids for a wading pool and brick and cement shelter house.⁴⁴⁴ This pool was opened by 1917.⁴⁴⁵ According to the 1937 Sanborn Fire Insurance Map, there was a frame shelter house with a wrap-around porch in the park. An undated postcard shows the shelter house, which is no longer present at the park.⁴⁴⁶ A circa 1920 postcard found at the Kentucky Historical Society shows swing sets and see saws at the park, which are no longer present within the park (**Figure 88**).⁴⁴⁷ Historic aerial photography from 1932, illustrates diagonal walkways from the corner of 5th Street and Philadelphia Street and from 5th Street leading to the shelter house. These walkways appear to be in the same location.

⁴⁴¹ City of Covington, "Goebel Park," 2022 <https://www.covingtonky.gov/government/departments/neighborhood-services/parks-recreation/parks/goebel-park> (accessed July 8, 2022).

⁴⁴² *The Kentucky Post and Times Star*, "Park May be Named after Gov. Goebel," March 11, 1908, <https://www.newspapers.com/image/760407891/?terms=%22Goebel%20Park%22&match=1> (accessed July 8, 2022).

⁴⁴³ Elaine M. Kuhn, "Goebel Park," *Gateway City: Covington Kentucky 1815-2015*, ed. Paul A. Tenkotte, PhD; James C. Claypool, PhD; and David E. Schroeder (Covington: Clerisy Press, 2015), 102.

⁴⁴⁴ *The Kentucky Post and Times-Star*, August 19, 1912.

⁴⁴⁵ *The Kentucky Post and Times Star*, "Sure, Those Girls Like Splash Just as Much as Boys do Old Swimmin' Hole," June 29, 1917 <https://www.newspapers.com/image/760556187/?terms=Goebel%20park%20pool&match=1> (accessed July 22, 2022).

⁴⁴⁶ Nkyviews.com, "Shelter House and Playgrounds, Goebel Park, Covington, KY," <https://www.nkyviews.com/kenton/kenton360.htm> (accessed July 8, 2022).

⁴⁴⁷ The Valentine-Souvenir Co., "Playgrounds, Goebel Park, Covington, Ky," Kentucky Historical Society, Ronald Morgan Kentucky Postcard Collection, Graphic 5, <https://kyhistory.com/digital/collection/Morgan/id/357> (accessed July 8, 2022).



Figure 88. Goebel Park Shelter House postcard, circa 1920.⁴⁴⁸

Changes to the park occurred around the time of construction of the Brent Spence Bridge and Interstate 75 in the mid-1960s.⁴⁴⁹ By 1973, the shelter house was removed and the park was divided by the off-ramp of Interstate 75.⁴⁵⁰ In 1977, plans were made to develop a thirty (30)-block area of downtown Covington into a German Village tourist area anchored around a three-block area along 6th Street at Goebel Park.⁴⁵¹ In 1979, the Main Strasse Village redevelopment project constructed a 100-foot German-style Glockenspiel clock tower in Goebel Park. This project was part of a larger 2.5-million-dollar federal grant for the area known as Main Strasse Village that included the 6th Street promenade, the clock tower, and the Goose Girl Fountain.⁴⁵² The tower and carillon were designed by Addison Clipson Architects Inc. of Cincinnati and the carillon, tower clocks, and glockenspiel were supplied by I.T. Verdin

⁴⁴⁸ "Goebel Park Shelter House," *Northern Kentucky Views* https://www.nkyviews.com/kenton/kenton_parks_other.htm (accessed July 25, 2022).

⁴⁴⁹ "Di128144," *Faces & Places: Northern Kentucky Photographic Archives*, Kenton County Public Library, <https://facesandplaces.kentonlibrary.org/> (accessed July 11, 2022).

⁴⁵⁰ "Di123523," *Faces & Places: Northern Kentucky Photographic Archives*, Kenton County Public Library, <https://facesandplaces.kentonlibrary.org/> (accessed July 11, 2022).

⁴⁵¹ *The Park City Daily News*, "Covington tourist project viewed by state officials," March 17, 1977, <https://www.newspapers.com/image/661779947/?terms=%22goebel%20park%22&match=1> (accessed July 11, 2022).

⁴⁵² Covington Neighborhood Collaborative, "Mainstrasse," <https://www.covingtoncnc.org/mainstrasse> (accessed July 8, 2022).

Company of Cincinnati. By 2017, the bells were in disrepair and a local foundation provided funding to repair the carillon.⁴⁵³



Plate 350. Picnic Pavilions (B) and Gazebo (C), looking northwest.

⁴⁵³ *Northern Kentucky Tribune*, "Landmark Bell Tower in MainStrasse to get major repairs, thanks to philanthropist, foundation," March 2, 2017, <https://www.nkytribune.com/2017/03/landmark-bell-tower-in-mainstrasse-to-get-major-repairs-thanks-to-philanthropist-killian-foundation/> (accessed July 12, 2022).



Plate 351. Outbuilding (D), looking north.



Plate 352. Outbuilding (E), looking northeast.



Plate 353. Playground (F), looking northwest.



Plate 354. Sign (G), looking north.



Plate 355. Pool (H) and Bathhouse (I), looking southwest.



Plate 356. Bathhouse (I), looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a park in Covington or Kenton County. The 1912 park was greatly altered upon construction of the interstate highway and subsequent development of Main Strasse. The resources located therein are mostly associated with the development of Main Strasse and therefore are not yet of sufficient age to be considered eligible for the NRHP. Although there may be two earlier brick buildings, one of which is associated with a nonextant pool, they both appear to have been moved, during the park's reconstruction in the late 1970s. The park does not display any distinctive characteristics of a type of park design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A. The German Storybook style elements are less than 50 years in age, and have not achieved exceptional importance to meet Criteria Consideration G. Once the park reaches 50 years in age, the park should be re-evaluated for NRHP eligibility.

Effects Assessment: Not Applicable

Field Site 81

Fifth Street Center Office Building

KEC-1034

Circa 1939, Circa 1984

500 Philadelphia Street

Covington, KY 41011

39.085022, -84.519681



Plate 357. Fifth Street Center Office Building and Fence (B), looking southwest.

Description:

This three story brick and concrete office building was originally constructed as the 3rd District Public School circa 1939 (**Figure 89**) but was extensively remodeled circa 1984 and converted into an office building.^{454 455} The building is now called the Fifth Street Center and is a Contemporary style building. This building is characterized by its smooth stucco exterior, a T-shaped plan, and inset bays of windows between concrete pilasters. The roof is flat and appears to have a raised parapet, according to aerial photographs. The fenestration pattern consists of horizontal windows in groups of two or three separated by concrete pilasters. The main entrance is located on Fifth Street and is a glazed door surrounded by glazed windows under a flat roof porch supported by columns. The porch has a square frieze. The foundation is concrete. A metal fence surrounds the parking lot (B).

⁴⁵⁴ Sanborn Fire Insurance Map, 1909 to 1949.

⁴⁵⁵ Toebben Companies, "Fifth Street Center," <https://www.toebben.com/home/properties-office-retail-space-lease-cincinnati/fifth-street/> (accessed July 13, 2022).



Plate 358. Fifth Street Center Office Building and Fence (B), looking southeast.



Figure 89. 3rd District Public School circa 1980, looking southeast.⁴⁵⁶

⁴⁵⁶ "Di27389," *Faces & Places: Northern Kentucky Photographic Archives*, Kenton County Public Library, <https://facesandplaces.kentonlibrary.org/viewimage.php?i=di27389> (accessed July 25, 2022).

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. The older building on this property has been entirely altered and now resembles a modern office building.⁴⁵⁷ It is not a notable example of a 1980s Modern style office building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴⁵⁷ IBID.

Field Site 82

Commercial Building/Seifert's Bakery

KEC-1016

Circa 1968

928 Willow Run

Covington, KY 41011

39.078755, -84.519863



Plate 359. Seifert's Bakery and sign (B), looking northeast.

Description:

This one-story brick veneer and concrete block commercial bakery building was constructed circa 1968. The fenestration pattern is W-D-W with façade bays sheltered by a wooden shingled pent roof. The façade's windows appear to be fixed and protected by a metal security gate. There are additional windows on the southeastern elevation that appear to be both sliding windows and fixed windows protected by metal security gates. The main entrance is a single glazed door with a metal security gate. There is a metal overhead garage door on the southeastern elevation. The main roof is a low pitch asphalt shingle gable roof, and the foundation appears to be concrete slab. An associated box sign mounted on a tall metal pole reads "Seiferts [sic] Bakery" (B).

Seifert's Bakery was founded in Covington by Raymond A. Seifert of Edgewood, Kentucky in 1966. The business eventually grew to four stores prior to Seifert's death in 2002.⁴⁵⁸



Plate 360. Seifert's Bakery, looking, northwest.

NRHP Eligibility: Not Eligible

Seifert's Bakery is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a mid-to-late twentieth century commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴⁵⁸ Raymond Seifert Obituary, Cincinnati.com, 2002 <https://www.legacy.com/us/obituaries/cincinnati/name/raymond-seifert-obituary?pid=150755710> (accessed July 12, 2022).

Field Site 83

Commercial Building/Schneller Office Building

KEC-1015

Circa 1968, Circa 2000

902-26 Willow Run

Covington, KY 41011

39.079285, -84.52005



Plate 361. Commercial Building, looking northeast.

Description:

This one story masonry office building was constructed circa 1968 into the side of an earthen bank. Historic aerial photographs indicate a building at this location since 1968; however, it appears to have been rebuilt or extensively modified circa 2000. This office building is characterized by the large dominant side gable asphalt shingle roof at two different levels with a wide frieze. A cross gable portico roof has a sign that reads "Schneller Heating, Air Conditioning, Plumbing Kris Knochehlmann Owner." This portico is supported by square columns. The fenestration pattern is W-D-W-W-D-W. Windows are fixed in groups of three or four with metal frames. The doors are single glazed metal doors. The foundation is concrete with cast stone accents at the northwestern gable end facing West 9th Street.



Plate 362. Schneller Office Building, looking southeast.



Plate 363. Schneller Office Building, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a circa 1968 office building that has been extensively altered in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 91

Commercial Building
KECL-817/KEC-817
Circa 1870
533-535 Pike Street
Covington, KY 41011
39.077259, -84.518735



Plate 364. 533 Pike Street, looking northwest.

Description:

This three story masonry commercial building was constructed circa 1870. This building is characterized by its brick construction, a cornice consisting of paired brackets that frame each bay, and a parapet wall located on each gable end. The circa 1870 portion of the building has been significantly altered, as all of the window and door openings have been filled in with concrete block. Still visible are four arched windows with stone sills on the first floor with a keystone with the date "1888," and five arched windows on the second floor. The roof on this portion of the building is a low-pitched gable roof. Connected to the northern end of the older portion is a circa mid-twentieth century addition. The first floor contains the building's main entrance via modern glass and steel doors and modern paired picture windows, while modern 1/1 vinyl windows are evenly spaced along the second floor. This portion of the building has a flat roof. The building has a stone foundation.

Although significantly altered since its construction, this resource was originally part of the Bavarian Brewery Company, used as offices and as a malt house for the brewery complex. It was later used as an office space and storage space. This property was surveyed as KECL-817 in the summer of 1990. Its

NRHP eligibility status was Undetermined at that time. It was re-surveyed in 2010 by Gray & Pape and was recommended eligible under Criterion A for its association with the Bavarian Brewery Company, which was listed in the NRHP in 1996.



Plate 365. Commercial Building, looking southeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a commercial building associated with the Bavarian Brewery. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Though the property is associated with the Bavarian Brewery Company, the building has undergone significant modifications which have denigrated its architectural integrity. Since the previous survey in 2010, further modifications have occurred such as the replacement of windows and new windows have been cut into the façade. The Glidden paint signage has been removed. Therefore, the property is not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 92

Commercial Garage
KEC-1012
Circa 1950
555 Pike Street
Covington, KY 41011
39.077235, -84.519372



Plate 366. Commercial Garage, looking east.

Description:

This one story commercial garage consists of three connected buildings, constructed in two phases, circa 1950 and 1968. This building is characterized by its vertical metal siding and long rectangular plan. The central portion is the oldest, built circa 1950, and has a standing seam metal gable roof and two garage bays. The section on the northern end of the building was built circa 1968 and has an overhanging standing seam metal gable roof and a single garage bay with metal overhead door. An addition on the southern end of the building, built circa 1975, has a flat roof and single garage bay. The windows are a pair of eight-light fixed metal windows on the northern portion, a pair four-light fixed metal windows on the central portion, and a pair of two-light metal windows on the rear of the southern portion. The building sits on a poured concrete foundation.



Plate 367. Garage, looking north.



Plate 368. Garage, looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a commercial garage in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 95 and 96

Garage and Outbuilding

KECL-221

Circa 2004

617 Hinde Street

Covington, KY 41011

39.073893, -84.52003



Plate 369. Garage, looking northwest.

Description:

This two-bay detached garage was built circa 2004. The building, which is constructed of concrete blocks, has a flat roof and overhead metal doors in its garage bays. There is a modern six-panel metal door on the building's western elevation. On the same elevation is a window opening and a door opening, both of which are covered with plywood. A sign above the garage bays reads "Cabinet Finishing Div." The foundation is poured concrete. The second resource on the property is a one-story frame building is located directly adjacent but on the same parcel. (Field Site 96). This building was built circa 1980. The building has a gable roof of asphalt shingles and is clad in vinyl siding. There are no visible windows. The building's western elevation abuts, but is not attached to, the eastern elevation of a two-bay concrete block garage. The foundation was not visible at the time of survey.

Historic aerial photographs indicate that the building was likely built circa 2004. A circa 1888 Queen Anne Cottage resided in the same location as the garage, until it was demolished around 1993. The Queen Anne cottage was surveyed as KECL-221 in August 1989 and had a contributing NRHP eligibility

status. The current property was resurveyed with a new number as it is unrelated to the circa 1888 Queen Anne Cottage that was originally on this property.



Plate 370. Garage, looking northeast.



Plate 371. Outbuilding (95B), looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a garage and outbuilding in Covington or Kenton County. They do not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 97

House

KE-985

Circa 1940

506 Scenic Drive

Park Hills, KY 41011

39.067526, -84.521791



Plate 372. House, looking northeast.

Description:

This 1.5 story frame dwelling was constructed circa 1940 in the Cape Cod style. The house is characterized by its steeply pitched gable roof, gabled dormers, cedar shake siding, and symmetrical fenestration. The building's side gable roof is sheathed in asphalt shingles and is topped by a central chimney. The fenestration is W-D-W. Windows are 1/1 vinyl double hung windows with non-operational shutters. The main entrance was not distinguishable during survey. The house is built into a hill, which accommodates a basement entrance on the building's western elevation. The building sits on a concrete block foundation.



Plate 373. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Cape Cod house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 98

House

KE-986

Circa 1955

507 Scenic Drive

Park Hills, KY 41011

39.067298, -84.522227



Plate 374. House, looking south.

Description:

This two story frame house was originally constructed circa 1955.⁴⁵⁹ This house is characterized by vinyl siding, bay windows, and a prominent two story addition on its western elevation, which was added circa 1969.⁴⁶⁰ The building has a side gable roof of asphalt shingles a prominent central brick chimney which connects the one and two story portions of the house. The fenestration pattern is W-W-D-W. Windows are vinyl bay windows featuring a central picture window flanked by eight light casement windows. The other types of windows are vinyl sliding windows. The building's front entrance is covered by a one-story porch with square support posts. The house sits on a poured concrete foundation.

⁴⁵⁹ Nationwide Environmental Title Research, 1955, <https://historicaerials.com/viewer> (accessed July 26, 2022).

⁴⁶⁰ Nationwide Environmental Title Research, 1969, <https://historicaerials.com/viewer> (accessed July 26, 2022).



Plate 375. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a mid-to-late twentieth century house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. A two story addition was added circa 1969, which denigrates its integrity of design, materials, and workmanship. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 99

House

KE-989

Circa 1950

512 Scenic Drive

Park Hills, KY 41011

39.067737, -84.522431



Plate 376. House, looking northwest.

Description:

This 1.5 story frame dwelling with brick veneer was constructed circa 1950 in the Minimal Traditional style. The house is characterized by its steeply pitched side gable roof. The building's side gable roof is clad in asphalt shingles and has a gable end brick chimney on its western elevation. The fenestration pattern is W-W-D. Windows are 6/6 vinyl double hung windows. A set of four steps leads to the front entrance which is covered by a vinyl awning. A large two story addition clad in vinyl siding was built onto the rear elevation circa 2000.⁴⁶¹ This addition features an asphalt shingle gable roof, which extends above the original building's roof. The windows are 9/9 vinyl sash with faux shutters. The building sits on a poured concrete foundation.

⁴⁶¹ Nationwide Environmental Title Research, 2000 <https://historicaerials.com/viewer> (accessed July 26, 2022).



Plate 377. House, looking northeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Minimal Traditional style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. A large two story addition was added circa 2000; therefore, the property has lost integrity of design, materials, and workmanship. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 100

House

KE-988

Circa 1950

510 Scenic Drive

Park Hills, KY 41011

39.067684, -84.522245



Plate 378. House and Stone retaining wall (B), north.

Description:

This 1.5 story frame dwelling with brick veneer was constructed circa 1950 in the Minimal Traditional style. The house is characterized by its side gable roof, symmetrical fenestration, and brick veneer exterior. The building's side gable roof is sheathed in asphalt shingles and has a central brick chimney. The fenestration pattern is W-D-W. Windows are 6/6 vinyl double hung windows. The foundation is parged stucco. A two story one-car garage addition, with upper level sunroom, clad in vinyl siding is on the building's eastern elevation. There is a stone retaining wall (B) to the left of the driveway .



Plate 379. House, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Minimal Traditional style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 101

House

KE-987

Circa 1966

508 Scenic Drive

Park Hills, KY 41011

39.067642, -84.522057



Plate 380. House, looking north.

Description:

This two story frame Split-level dwelling was constructed circa 1966. This house is characterized by brick veneer, paired windows, and aluminum siding. The side gable roof is sheathed in asphalt shingles. The fenestration pattern is W-D-W. Windows consists paired 1/1 vinyl double hung windows with non-operational shutters. The main entrance is a panel door with a half-arched fan light window, flanked by non-operational shutters. The foundation is parged stucco.



Plate 381. House, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Split-level dwelling in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 106

Commercial Building/Braxton's Cleaners

KE-924

Circa 1965

1901 Dixie Highway

Covington, KY 41011

39.057379, -84.543677



Plate 382. Commercial Building/Braxton's Cleaners, looking south.

Description:

This one story brick veneered commercial building was constructed circa 1965. The building is characterized by its rectangular plan with long end facing the street and glass storefront. The exterior is clad in vertical wood siding. The building has a low-pitched built-up gable roof with a wide overhanging eave. The building's eastern corner is made entirely of fixed glass and metal framed windows and a single glazed doorway. The front elevation has fixed windows shaped to follow the angle of the roofline. The building sits on a poured concrete foundation. A metal, rectangular sign (B) is adjacent to the building's southwest that reads "Braxton's Cleaners."



Plate 383. Commercial Building/Braxton's Cleaners, looking north

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a mid-1960s commercial building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 107

Motel/Day's Inn Hotel

KE-923

Circa 1965

1937 Dixie Highway

Covington, KY 41011

39.056574, -84.544529



Plate 384. Motel/Day's Inn Hotel, looking southwest.

Description:

This two story hotel was constructed circa 1965. The hotel is characterized by its T-shaped plan, a metal mansard roof, and Dryvit exterior. The roof is flat. The fenestration pattern is W-D-W-W-W-W-W. Full height windows are divided by horizontal blue bands and feature small metal framed operable windows. A large portico extends from the building's northern elevation, sheltering the front entrance, which consists of double, glazed metal doors surrounded by curtain wall windows. The portico is supported by square posts wrapped in stucco with cast stone accents at the base. The foundation appears to be parged stucco. A small rectangular brick outbuilding (B), constructed circa 1980, has a hipped asphalt shingle roof. To the rear of the building is a swimming pool (C).



Plate 385. Motel/Day's Inn pool building (B), looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a mid-twentieth century hotel building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 108

House

KEFM-308

Circa 1960

4 Leslie Avenue

FT. Mitchell, KY 41011

39.053483, -84.547828



Plate 386. House, looking east.

Description:

This one story brick veneer Ranch house was constructed circa 1960. This house is characterized by its side gable roof, picture window, and front door sheltered under the large front porch. The roof is an asphalt shingle side gable roof. There is large exterior brick chimney on the building's southern elevation. The fenestration pattern is W-W-D-W. The windows are 1/1 double hung wooden windows covered by storm windows and flanked by non-operational shutters. There is a basement level two-car garage, on the building's northern elevation. The house has a poured concrete foundation. At the rear of the property is a modern frame storage shed with wood siding and an asphalt shingle gable roof. This property was last surveyed as KEFM-308 in August 2009 and determined not eligible.



Plate 387. House, looking southeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 109

House
KEFM-309
Circa 1930
15 Leslie Avenue
FT. Mitchell, KY 41011
39.053241, -84.548356



Plate 388. House, looking northwest.

Description:

This resource is a brick veneered circa 1930 Tudor Revival style house that is 1.5 stories in the front and two stories at the rear of the building. This house is characterized by a dominant front facing gable, prominent brick interior chimney with terra cotta chimney caps, round or segmental brick arches over the windows, and a round arch door. The house is capped by an asphalt shingle roof with prominent front facing gable. The fenestration pattern is W-W-D-W. Windows are vinyl tripartite, paired, or single 6/6 double hung with decorative round motifs and cast stone sills. There are two, small, four light casement windows, one wooden six light round arch window, and a round arch louvered vent at the attic level. The main entrance is a wooden door with a round arch protected by a round portico roof. The foundation is parged stucco. A concrete terrace with stone retaining walls extends across half of the façade. A curved stone retaining wall defines the landscape beds. This property was last surveyed as KEFM-309 in August 2009 and determined not eligible.



Plate 389. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Tudor Revival Style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 110

House

KEFM-310

Circa 1930

13 Leslie Avenue

FT. Mitchell, KY 41011

39.053373, -84.548337



Plate 390. House, looking southwest.

Description:

This resource is a brick veneered, 1.5 story Tudor Revival Style house built circa 1930. This house is characterized by a dominant front gable with chimney, tabbed stone masonry around the main entrance with a Tudor arch, stone accents, half-timbering under the gables, and terra cotta roof tiles. The roof is terra cotta tile with simple verge boards around the gables. The fenestration pattern is W-D-W. The windows are vinyl casements either in a group of four, paired, or single. They have cast stone sills. The main entrance is board-and-batten door, with wide metal straps, and a six-light window. The foundation is parged stucco. This property was last surveyed as KEFM-310 in August 2009 and determined not eligible.



Plate 391. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Tudor Revival style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 111

House

KEFM-311

Circa 1930

11 Leslie Avenue

FT. Mitchell, KY 41011

39.053504, -84.548282



Plate 392. House, looking west.

Description:

This resource is a circa 1930 brick veneer Tudor Revival Style that is 1.5 stories in the front and two stories at the rear of the building. This house is characterized by a dominant front facing gable, round arch porch under the main roof, leaded glass windows, and a round arch portico over the main entrance. The house is capped by an asphalt shingle roof, with a hipped roof at the rear, and an interior brick chimney. The fenestration pattern is W-D. Windows are wooden paired or single 1/1 double hung or diamond pattern-stained glass windows. They are topped by round or segmental brick arches with round motifs and cast stone sills. The main entrance is a wooden door with a round arch protected by a screen door. The foundation is parged stucco. A concrete terrace with stone retaining walls extends from the round arch porch to the main entrance. There is a one-story brick addition at the back of the building with a gable roof. This property was last surveyed as KEFM-311 in August 2009 and determined not eligible.



Plate 393. House, looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Tudor Revival style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 112

House

KEFM-312

Circa 1970

9 Leslie Avenue

FT. Mitchell, KY 41011

39.053666, -84.548221



Plate 394. House, looking west.

Description:

This resource is a brick veneer Split-Level two story house built circa 1970. This house is characterized by the side gable roof, basement level garage, basement level window, and brick quoins. The roof is asphalt shingle side gable roof with a wide overhanging eave. The fenestration pattern is W-D-W. The windows are metal 1/1 with faux shutters and brick sills. The main entrance is a leaded glass door with a screen door. The foundation is parged stucco. This property was last surveyed as KEFM-312 in August 2009 and determined not eligible.



Plate 395. House, looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Split-Level house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 113

House

KEFM-313

Circa 1930

7 Leslie Avenue

FT. Mitchell, KY 41011

39.053792, -84.548184



Plate 396. House, looking southwest.

Description:

This resource is a 1.5 story brick Tudor Revival style house built circa 1930. The house is characterized by the dominant front facing gable, a brick tapered chimney, with cast stone accents and a round arch brick detail, and a round arch portico. The roof is an asphalt shingle gable roof with shed dormers. The windows are single or paired 6/1 vinyl windows with cast stone sills and brick lintels. The main door is round arch wooden door with a half-moon window. The foundation is parged stucco. This property was last surveyed as KEFM-313 in August 2009 and determined not eligible.



Plate 397. House, looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Tudor Revival style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 114

House

KEFM-314

Circa 1930

5 East Orchard Road

FT. Mitchell, KY 41011

39.053902, -84.548141



Plate 398. House, looking west.

Description:

This resource is a 1.5 story brick veneered Tudor Revival style house built circa 1930. This house is characterized by a dominant front gable roof with a porte cochère round arch over the driveway, a brick interior chimney, a portico with round arch supported by paired Doric columns. The steeply pitched roof is asphalt shingled with plain wooden vergeboards under the eaves. The fenestration pattern is W-D-W. The windows are vinyl paired 1/1 with stone sills and segmental arch lintels with a circular decorative motif. There is a round arch louvered vent at the attic level. The main entrance is a round arch wooden door with a screen door. The foundation is parged stucco. This property was last surveyed as KEFM-314 in August 2009 and determined not eligible. The address listed within the 2010 report of the previous survey was 5 Leslie Avenue; however, Kenton County records indicate the address is 5 East Orchard Road.



Plate 399. House, looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Tudor Revival style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 115

House

KEFM-306

Circa 1940

10 East Orchard Road

FT. Mitchell, KY 41011

39.053782, -84.54755



Plate 400. House, looking south.

Description:

This two-story brick veneered T-plan house was constructed circa 1940. The house is characterized by the T-plan form and prominent brick gabled roof front porch with a round arch opening. The roof is an asphalt shingle cross-gable roof. The fenestration pattern is D-W. The first floor window is a vinyl picture window with casements, faux shutters, and brick sills. The remaining windows are vinyl paired casements, single 1/1 double hung windows, or glass block windows. The main entrance features a large leaded glass door. The foundation is parged stucco. At the southwestern elevation is an attached basement level garage with a flat roof with railing. This property was last surveyed as KEFM-306 in August 2009 and determined not eligible.



Plate 401. House, southeast elevation, looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a T-plan style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 116

House

KEFM-307

Circa 1940

8 East Orchard Road

FT. Mitchell, KY 41011

39.053939, -84.547692



Plate 402. House, looking NE.

Description:

This resource is a concrete block with brick veneer Colonial Revival style house built circa 1940. This house is characterized by its symmetrical fenestration pattern, side gable roof, exterior brick chimney and a round arch portico with wide square columns. The brick veneer is laid in a common Flemish bond pattern. The roof is a side gable asphalt shingle roof. The fenestration pattern is W-D-W. The windows are vinyl 6/6 double hung windows, with brick sills and lintels and faux shutters. The door is metal with leaded glass and rests on a concrete stoop. The foundation is parged stucco. There is a side porch on the southeast elevation that features an aluminum roof and metal columns and railing. This property was last surveyed as KEFM-307 in August 2009 and determined not eligible.



Plate 403. House, looking southeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Colonial Revival style dwelling in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 117

House

KEFM-315

Circa 1956

6 East Orchard Road

FT. Mitchell, KY 41011

39.05412, -84.547726



Plate 404. House, looking northeast.

Description:

This one story circa 1956 Ranch style house is clad in brick veneer. This dwelling is characterized by two bay windows, a hipped roof, a basement level garage, and an inset porch at the main façade. The roof is an asphalt shingle hipped roof with a front gable porch roof supported by modern turned columns. A brick interior chimney is located at the northern side of the roof. The fenestration pattern is W-D-W. There are two modern vinyl bay windows; one with a fixed 20 light central window flanked by double hung 6/6 windows and the other with a twelve light central window flanked by double hung 4/4 windows. Both bay windows feature a hipped standing seam copper roof and non-operational shutters. The main entrance door features a leaded glass window. The foundation is parged stucco. This property was last surveyed as KEFM-315 in August 2009 and determined not eligible.



Plate 405. House, looking southeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 118

House

KEFM-316

Circa 1930

3 East Orchard Road

FT. Mitchell, KY 41011

39.054117, -84.548163



Plate 406. House, looking south.

Description:

This house is a 1.5 story frame house built circa 1930 with Tudor Revival elements and clad in vinyl and aluminum siding. The house is characterized by a prominent tapered brick chimney, and a round arch portico over the main entrance. The asphalt shingle front-facing gable roof features a shed style dormer and a gable roof dormer. The fenestration pattern is D-W-W. Windows are wooden double hung 6/1 and 1/1. The main entrance has a six light wooden door sheltered under a round arch portico supported by scroll brackets. The foundation is parged stucco. A three bay wide porch with a shed roof and supported by Colonial Revival style columns is located on the southeastern elevation. This property was last surveyed as KEFM-316 in August 2009 and determined not eligible.



Plate 407. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Tudor Revival style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 119

House

KEFM-317

Circa 1850

2 East Orchard Road

FT. Mitchell, KY 41011

39.054388, -84.548049



Plate 408. House, looking northeast.

Description:

This 1.5 story L-plan brick parged with stucco vernacular house was constructed circa 1850. The house is characterized by its L-plan shape, stone foundation, and stucco exterior. The roof is a cross gable asphalt shingle roof. The fenestration pattern was obscured by vegetation. Windows are 1/1 vinyl replacement that have masonry sills and faux shutters. A metal door entrance is visible at the basement level facing East Orchard Road. The foundation is stone. A small one story gable roof outbuilding (B) is located to the southeast of the main building. It features an asphalt shingle roof, parged stucco, and 6/6 wooden sash double hung windows. A door is partially visible. This property was last surveyed as KEFM-317 in August 2009 and determined eligible under Criterion C.



Plate 409. House, looking east.



Plate 410. Outbuilding (B), looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. Since the 2009 survey, the house has lost integrity of materials, design, and workmanship. The following changes have occurred: the roof has been replaced and the cornice details removed, the 6/6 wooden sash windows have been replaced with vinyl 1/1 windows, and the original basement level double doors have been removed and replaced by a single metal door. Therefore, it is no longer eligible under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 120

Office Building
KEFM-318
Circa 1926
2011 Dixie Highway
Ft. Mitchell, KY 41011
39.054626, -84.548431



Plate 411. Office Building, looking southeast.

Description:

This resource is at circa 1926 two story brick office building with elements of the Tudor Revival and American Foursquare Styles. It originally was built as a dwelling but transitioned to an office building circa 1937.⁴⁶² A sign affixed to the main Dixie Highway façade reads, “East Orchard Dentistry.” The building is characterized by a hipped roof, and a round portico over the front door on the Dixie Highway façade. The hipped asphalt shingle roof features a wide overhanging eave with a molded cornice and frieze with two interior brick chimneys. The fenestration pattern is D-W-W-D. Windows are single, paired, tripartite, and organized as a group of four. They include 3/1 wooden sash double hung windows and 1/1 vinyl sash double hung windows. The entrance on Dixie Highway is a wooden six light round arch door sheltered by a round arch portico roof supported by decorative brackets. The other entrance on Dixie Highway is a mid-to-late-twentieth-century stained glass door. The foundation wall is parged. This property was last surveyed as KEFM-318 in August 2009 and determined not eligible.

⁴⁶² *Sanborn Map Company, “Covington Kentucky Volume Two,”* (New York: Sanborn Map Company, 1937), 109.



Plate 412. Office Building, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Tudor Revival / American Foursquare building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 121

Office Building
KE-921
Circa 1930
2009 Dixie Highway
FT. Mitchell, KY 41011
39.054721, -84.548301



Plate 413. Office Building, looking south.

Description:

This office building is a circa 1930 two story Dutch Colonial Revival house clad in a brick veneer and vinyl siding. This building was originally a house but transitioned to an office building sometime after 1953.⁴⁶³ The building is characterized by a front-facing gambrel roof facing Dixie Highway. The original front porch has been enclosed with a modern brick veneer. The roof has a gambrel roof and cross gable roofs sheathed in asphalt shingles with an interior brick chimney. The fenestration pattern was partially obscured by vegetation but appears to be W-D-W. Windows are wooden 6/1 and vinyl fixed or casement style. There are multiple entrances to the building, but the main entrance appears to be in the northeastern side addition as a glazed door with modern windows facing Dixie Highway. The foundation is poured concrete.

⁴⁶³ *Sanborn Map Company, "Covington Kentucky Volume Two,"* (New York: Sanborn Map Company, 1953), 109.



Plate 414. Office Building, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Dutch Colonial Revival style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 122

First National Bank Kentucky

KE-922

Circa 1976

2001 Dixie Highway

FT. Wright, KY 41011

39.054962, -84.547959



Plate 415. First National Bank Kentucky, looking southeast.

Description:

This bank is a one story, circa 1976 modern style brick building. The bank is characterized by its square plan with chamfered corners and raised mansard roof in the center. The mansard roof features asphalt shingles. The fenestration pattern varies and includes groups of four metal windows along the main walls divided by brick pilasters with tripartite windows at the chamfered corners facing Dixie Highway. A glazed door opening is located at the rear eastern chamfered corner. A drive through canopy is located at the southern chamfered corner. This canopy features steel columns that support the roof and extend beyond the roof line. The foundation was not visible during the survey. There are two signs affixed to the Dixie Highway elevation each reading “First National Bank Kentucky.” This building was shown on a 1976 USGS aerial map.



Plate 416. First National Bank Kentucky, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a modern style bank building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A. Additionally, research did not identify that this property has achieved exceptional significance within the past 50 years and, as such, it is not eligible for the NRHP under Criteria Consideration G.

Effects Assessment: Not Applicable

Field Site 123

House

KEFM-319

Circa 1930

2021 Dixie Highway

FT. Mitchell, KY 41011

39.054365, -84.548558



Plate 417. House, looking east.

Description:

This resource is a vernacular two story brick veneer house built circa 1930. This house is characterized by the front-facing gable and two-story pilasters that frame the main entrance. The front-facing asphalt shingle gable roof has vinyl siding inside the gable end and features an exterior brick chimney on the northeastern elevation. The fenestration pattern is W-W-D. Windows are vinyl 6/6 double hung with masonry sills. The entryway consists of a wooden panel door with a large light flanked by shutters. The foundation is concrete block. At the rear of the property is an semi-attached concrete block two car garage addition with a flat roof and metal railing. This property was last surveyed as KEFM-319 in August 2009 and determined not eligible.



Plate 418. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a vernacular style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 124

Apartment Building
KEFM-320
Circa 1920
2025 Dixie Highway
FT. Mitchell, KY 41011
39.054242, -84.548636



Plate 419. Apartment, looking south.

Description:

This resource is circa 1920 two-story brick apartment building with elements of the American Foursquare and Craftsman Styles. The dwelling is characterized by a two-story hipped roof porch with brick piers and two entrance doors. One door is located under the porch and the other is located under a pyramid shaped portico. The roof is a hipped asphalt shingle roof with two brick interior chimneys. The fenestration pattern is D-D-W-W. Windows are 6/1 aluminum windows with wood trim and brick sills. The two doors are wooden with six lights over three long narrow lights. The foundation is parged stucco. The rear features two original paired wooden garage doors topped by a hipped pent roof. This property was last surveyed as KEFM-320 in August 2009 and determined not eligible.



Plate 420. Apartment, looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of an American Foursquare / Craftsman style building in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 125

House

KEFM-321

Circa 1930

2029 Dixie Highway

Ft. Mitchell, KY 41011

39.054128, -84.548774



Plate 421. House, looking south.

Description:

This two story brick veneer Tudor Revival style house was constructed circa 1930. The house is characterized by half timbering in the second story front-facing gable, a large brick chimney, and a tabbed masonry detail at the door. The asphalt shingle roof is a pyramid shape with a front facing cross gable. The fenestration pattern is W-D-W. Windows are 1/1 or 6/6 vinyl double hung with masonry sills. The main entrance door is protected by a screen door and has tabbed masonry details. The foundation appears to be parged stucco. A rear one story concrete block addition is capped by a flat roof with a brick railing. This property was last surveyed as KEFM-321 in August 2009 and determined not eligible.



Plate 422. Rear Elevation of house (background), looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Tudor Revival style dwelling in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 126

House

KEFM-322

Circa 1940

2033 Dixie Highway

Fort Mitchell, KY 41011

39.05400846, -84.5488687



Plate 423. House, looking east.

Description:

This is a two story, brick veneer Neoclassical style house with W-D-W fenestration. The house has 6/6 double hung aluminum windows and its single leaf front door, protected by a storm door, retains its dentiled Colonial Revival wooden surround. The door itself appears to be an original wooden, six-light paneled door. Four square-sided pilasters occur at both edges of the façade with two central pilasters visually separating the three façade bays. The house has a front gable, asphalt shingle roof. The gable area of the main roof has been vinyl sided and has an octagonal ventilator. Across the front of the house is a poured concrete patio with access provided by concrete stairs with a metal handrail. At the northeast/left side of the house is an exterior brick chimney. The house has a single story, frame, shed roof addition which appears to be sided in weatherboards at its right side. The shed addition is accessed directly by a non-historic deck into its twelve-light front door. Aerial maps indicate a large, first story deck at the rear of the house. The house rests on what appears to be a poured concrete partial basement foundation. This house was partially obscured by trees and shrubbery and is not associated with any supporting resources.



Plate 424. House, looking southeast.



Plate 425. House, looking south.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Neoclassical house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 127

House

KEFM-323

Circa 1940

2037 Dixie Highway

Fort Mitchell, KY 41011

39.05388307, -84.5489563



Plate 426. House, looking south.

Description:

This is a two story, brick veneer house with W-D-W-W fenestration. Windows are 1/1 double hung vinyl replacements, but openings retain their concrete sills. The first floor façade bay windows at the south end are much narrower paired windows. The house may have started as a more traditional Colonial Revival style house, but its fenestration appears to have been modified since it has lost its Colonial Revival symmetry, a hallmark of the style. The front entrance retains its dentiled Colonial Revival wooden surround with wooden pilasters as well as its original six-light wooden paneled front door. The house has a side gable, asphalt shingle roof. At its left gable end is a brick exterior end chimney. The house rests on a poured concrete partial basement foundation with basement windows. Aerial maps show a single story deck at the rear of the house. This house is not associated with any supporting resources.



Plate 427. House, looking southeast.



Plate 428. House, looking east.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Colonial Revival house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 128

Office Building
KEFM-324
Circa 1965
2039 Dixie Highway
Fort Mitchell, KY 41011
39.053696, -84.549074



Plate 429. Office building, looking east.

Description:

This painted brick veneer office building is a repurposed, single story Ranch house oriented sideways to take advantage of its narrow lot. The building has WWW-DD-WWW fenestration with an integral full width front porch formed from the front hip of the roof and supported by four Tuscan columns. The front porch shelters a double door main entrance. Windows are simulated divided light vinyl picture windows on the façade and vinyl double hung windows on side elevations. The house has a hipped, asphalt shingle roof and there is a wide, brick veneer chimney with metal flue cover in the northeast/left slope of the roof. The building rests on a concrete basement foundation and a set of wooden stairs at the southwest/right side of the building provides access to the raised ground floor door on this side. The building is now occupied by law firm Poston Selfriend & Schloemer. In this stretch of Dixie Highway, this building serves as the dividing line between residential buildings retaining their residential use and residential buildings which have been repurposed as offices and restaurants in this part of Fort Mitchell. This building is not associated with any supporting resources.



Plate 430. Office building, looking southeast.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 129

Office Building
KEFM-325
Circa 1930
2045 Dixie Highway
Fort Mitchell, KY 41011
39.053582, -84.549195



Plate 431. Office building, looking south.

Description:

This running bond brick office building is a repurposed, 1.5 story bungalow house with a clipped gable roof with wall dormers in its northeast and southwest (side) elevations; also in the northeast elevation is an interior brick chimney. The building has WWW-D fenestration with 1/1 double hung vinyl replacement windows with stone sills including in the band of three windows in the first story of the façade. The front door is a modern simulated stained glass replacement with sidelights. The building has a Craftsman style hipped roof front porch with an extended clipped gable section accentuating the location of the front entrance. The front porch has battered brick supports with sections defined by stone. The porch has a balustrade formed by short “l”-shaped brick supports with a stone railing. An access ramp with a metal railing painted a complementary dark color has been installed at the front of the building to provide access to the front porch. Both the main house and its front porch rest on a rusticated concrete block basement foundation. At the rear of the house is a vinyl sided frame, shed roof addition resting on a concrete basement foundation. This building is now occupied by the Law Office of James M. West as well as Emma Schmidt & Associates as reflected on a business box sign at the

front of the parcel. A historic aerial image from 1936 indicates that this building as well as adjacent KEFM-326 and KEFM-327 had already been built by that time.⁴⁶⁴ This building is not associated with any supporting resources.



Plate 432. Office building, façade, looking southeast.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a bungalow in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴⁶⁴ Image di120914, Lawrence Brand Collection, Kenton County Library Faces and Places, accessed online July 2022 at: <https://facesandplaces.kentonlibrary.org/viewimage.php?i=di120914>.

Field Site 130

Office Building
KEFM-326
Circa 1930
2049 Dixie Highway
Fort Mitchell, KY 41011
39.053398, -84.549315



Plate 433. Office building, looking east.

Description:

This running bond brick office building is a repurposed Craftsman style, 1.5 story front gable house with WW-W-D fenestration. The building has vinyl slider and 1/1 double hung replacement windows with concrete sills throughout. Its roof has a single metal turbine vent on its roof ridge. The front gable roof of the building is partially covered in slate and partially in asphalt shingles and preserves its wide eave overhang supported by original wooden knee brackets on its façade. The building has a partial width front porch supported by several wooden Tuscan columns with an intervening wooden railing with newel posts. The house retains a vinyl sided shed roof dormer in the northeast slope of its front gable roof. Also at the northeast elevation is an interior parged brick chimney with metal flue cover. Both the main house as well as the front porch rest on a parged foundation which appears to have a crawlspace. This building is now occupied by The Hay Chiropractic Center. A historic aerial image from 1936 indicates

that this building as well as adjacent KEFM-325 and KEFM-327 had already been built by that time.⁴⁶⁵ This building is associated with a mid-twentieth century garage (B) located to its south/rear corner.

The associated mid-twentieth century garage (B) is a concrete block building with an asphalt shingle shed roof with a narrow section of roof along the front to help the building shed water. The garage has at least one window opening in its northeast elevation and a four-light accordion style metal overhead door on its façade.



Plate 434. Office building and Garage (B), looking southeast.

⁴⁶⁵ Image di120914, Lawrence Brand Collection, Kenton County Library Faces and Places, accessed online July 2022 at: <https://facesandplaces.kentonlibrary.org/viewimage.php?i=di120914>.



Plate 435. Garage (B), looking southeast.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Craftsman style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 131

Fort Mitchell Public House
KEFM-327
Circa 1885
2053 Dixie Highway
Fort Mitchell, KY 41011
39.05317, -84.549366



Plate 436. Fort Mitchell Public House and (B) Frame pergola, looking east.

Description:

This two story brick restaurant and bar building is a repurposed two story Italianate style, central passage, side gable house with several additions. The building has W-W-D-W-W fenestration. Windows are 1/1 double hung metal, 1/1 double hung wood, as well as sixteen-light wooden fixed within the enclosed front porch. Façade windows are framed by non-operational panel style shutters. The side gable roof of the original portion of the house has a central cross gable which appears to have been stuccoed and painted to resemble half-timbering; the roof is covered in asphalt shingles. The original central front porch, which retains its Italianate style brackets, has been enclosed with modern framing. Steps up to a non-historic poured concrete front stoop with decorative metal railings provides access to the enclosed front porch entrance. The building rests on a continuous stone foundation.

The building retains what appears to be an original or early historic two story, gable roof ell at its rear. The ell contains a parged interior brick chimney with terracotta chimney pots. Additionally, the building has a single story, brick, shed roof addition along with a shed roof, vinyl sided frame addition and another single story shed roof addition at its southwest elevation which appears to extend along the

rear and be partially visible at the northeast elevation. At the northern corner of the building a non-historic metal exterior staircase with landing provides access directly to the second story from outside via a former window opening that has been converted to a metal door. According to the 2009 previous KHRI (survey) form for this property, the building was then being used as the Indigo Bar & Grill and has housed a restaurant of some type since at least 1954. A historic aerial image from 1936 indicates that this building as well as adjacent KEFM-325 and KEFM-326 had already been built by that time.⁴⁶⁶ The building is somewhat obscured by trees, shrubs, and umbrellas for outdoor patio dining tables. The building is associated with a non-historic frame pergola (B) and (C) large outdoor dining patio.

To the northwest of the building is a non-historic frame pergola which highlights the entrance sidewalk from the parking lot at the south of the building. The pergola is open sided with latticework forming the side walls and gable roof. At the gable ends are decorative trusses and fleur-de-lis. Also northwest of the building is a non-historic patio (C) with modern pavers surrounded by a non-historic stone wall defining space for the outdoor dining tables.



Plate 437. Fort Mitchell Public House façade and Patio (C), looking southeast.

⁴⁶⁶ Image di120914, Lawrence Brand Collection, Kenton County Library Faces and Places, accessed online July 2022 at: <https://facesandplaces.kentonlibrary.org/viewimage.php?i=di120914>.



Plate 438. Fort Mitchell Public House showing additions, looking northeast.



Plate 439. Fort Mitchell Public House, detail of enclosed front porch and stoop.



Plate 440. Patio (C), Fort Mitchell Public House, and (B) Frame pergola, looking southeast.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP as its historic integrity has been negatively impacted by a variety of historic and non-historic unsympathetic modifications and additions as previously described. Additionally, it is not a notable example of an Italianate style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 132

Office Building/Fort Mitchell Executive Center by Drees

KE-915

Circa 1977

211 Grandview Drive

Fort Mitchell, KY 41017

39.052404, -84.564635



Plate 441. Drees Fort Mitchell Executive Center, façade, looking northeast.

Description:

This three story, multi-tenant office building was built circa 1977 and renovated circa 1990. Viewed from above, the building has a generally “T”-shaped footprint with two full metal framed glass curtain walls forming a recessed 90-degree angle at the front of the building (likely with an interior atrium) and providing space for a triangular, exterior central (B) plaza with water fountain. Most of the building is brick veneer with distinctive full height, narrow, vertical projecting light bays of metal framed glass curtain walls regularly spaced along most of its elevations. The building rests on a poured concrete foundation and it has a flat roof. According to online real estate listings, the building was renovated in the 1990s and it is unclear how much of its 1970s design it retains. The building has a parking lot to its south as well as a larger, main parking lot to its north wrapping around the rear of the “T.” As stated previously, the Fort Mitchell Executive Center building is associated with an exterior, triangular central (B) plaza with water fountain. South of the building is the (C) business sign for the Fort Mitchell Executive Center surrounded by a planting bed.

The (B) plaza at the front of the building includes walkways paved with both tinted and untinted poured concrete. The plaza includes trees and shrubbery, outdoor benches, and a planting bed with water fountain surrounded by a low brick veneer and concrete wall. The (C) business sign to the south of the building is a brick veneer and concrete sign. The sign reads “Fort Mitchell Executive Center by Drees” and is surrounded by a planting bed with shrubbery and annuals.



Plate 442. Fort Mitchell Executive Center, façade, looking northwest.



Plate 443. Fort Mitchell Executive Center, looking southwest.



Plate 444. Triangular plaza (B), looking north.



Plate 445. Fort Mitchell Executive Center business sign (C), looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP as it is 45 years of age, currently does not meet the 50 year age threshold for NRHP consideration, and does not demonstrate exceptional significance under Criteria Consideration G. It is not a notable example of a 1970s office building and has since been remodeled in the 1990s. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 134

Ranch House
KE-659
Circa 1965
244 Beechwood Road
Fort Mitchell, KY 41017
39.050403, -84.563517



Plate 446. House, looking northeast.

Description:

This single story, brick veneer Ranch house has W-D-WWW-WWW fenestration. The house has a front-projecting hipped roof bay with a half-hipped roof and a wide, interior brick veneer chimney on its roof ridge. Windows are replacement 1/1 vinyl double hung and picture windows. The house rests on a poured concrete basement foundation with glass block windows. The house is not visible on the 1960 historic aerial maps and first appears on the 1968 historic aerial maps. The house is associated with a (B) garage and (C) storage shed.

The (B) brick veneer garage appears to be contemporary with the house and has two overhead garage doors. The garage has a hipped, asphalt shingle roof. The (C) storage shed is a prefabricated frame building resting on a pier foundation with double hinged doors on its front elevation. The storage building appears to be sided in plywood panels and has an asphalt shingle, side gable roof.



Plate 447. House, façade, looking north.



Plate 448. House, looking northwest.



Plate 449. Garage (B), looking north.



Plate 450. Storage shed (C), looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 135

Ranch House
KE-990
Circa 1988
219 Ana Jo Lane
Fort Mitchell, KY 41017
39.050932, -84.562963



Plate 451. House, looking northwest.

Description:

This is a garage-dominant brick veneer Ranch house with W-W-DD-(D) fenestration. A gable-oriented garage wing in its northern façade bay projects far forward of the plane of the main house. Windows appear to be metal sliders. The house has a cross gable, asphalt shingle roof. At the south gable end of the house is a wide, exterior brick veneer end chimney. An arched attic ventilator with louvers is also visible at this end. The house rests on a continuous poured concrete basement foundation which is mostly covered in brick veneer; its basement material is only visible in some areas. The double front doors are sheltered by a porch created by the shed roof extension of the front slope of the main gable roof and the garage roof and decorative metal supports. The porch has a poured concrete pad partially covered in brick veneer. The large, projecting two-car garage wing has a wide, metal overhead garage door. The house is not visible on the 1985 historic aerial maps and first appears on the 1990 historic aerial maps. The house is not associated with any supporting resources.



Plate 452. House, looking west.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 136

Half-Courtyard Ranch House

KEFM-334

Circa 1965

216 Ana Jo Lane

Fort Mitchell, KY 41017

39.05097, -84.562359



Plate 453. House, looking southwest.

Description:

This single story, brick veneer, half-courtyard compact Ranch house has (WW)-D-W fenestration. Windows appear to be aluminum 1/1 double hung and aluminum picture windows with three-light sidelights. At its north end, the house has a half-hipped projecting bay with two windows. The main roof is therefore a cross-hipped roof covered in asphalt shingles. At the south end of the house, the hipped roof shelters an integral car port with decorative metal supports which shelters a single leaf side entrance. A poured concrete driveway continues directly under the car port. The house rests on a poured concrete foundation and has an interior, brick veneer chimney in the rear slope of its main cross-hipped roof. The house is not associated with any supporting resources.



Plate 454. House, looking northwest.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 137

Ranch House
KEFM-331
Circa 1950s
40 Ashton Road
Fort Mitchell, KY 41017
39.051218, -84.557869



Plate 455. House, looking north.

Description:

This stuccoed Ranch house has (W)-WWW-W-(D)-(D-D) fenestration and appears to be sided primarily in stucco with its enclosed front porch having wood paneled exterior walls. The house has two replacement vinyl three-part oriel windows with decorative brackets beneath; the remainder of the windows are 1/1 double hung vinyl. Its exterior is visually divided into sections by wooden pilasters, sometimes including arches beneath the eaves, which are defined by darker green paint in between. At its northwest end, the house has a front-projecting gable-oriented enclosed front porch with a single window and, at its southeast end, an attached garage connected by a breezeway. At the rear of the house appears to be a gable-oriented ell with its own front door sheltered by the breezeway. The main portion of the house appears to be entered via a side door into its southeast gable end that is sheltered by the breezeway although it may have originally been entered through a door sheltered by the now-enclosed front porch. The house has a cross gable, asphalt shingle roof. The breezeway has a wooden colonnade with arches beneath its eaves. The attached garage appears to have started with the gable-oriented portion but now has a cross gable addition. Both garage sections have front-facing metal

overhead garage doors. The house rests on a poured concrete foundation. The house is not associated with any supporting resources.



Plate 456. House, looking east.



Plate 457. House, looking northeast.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County, and its integrity has been compromised by its front porch enclosure and replacement windows. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 138

House

KE-916

Circa 1950s

36 Ashton Road

Fort Mitchell, KY 41017

39.051058, -84.557566



Plate 458. House, looking north.

Description:

This brick veneer Ranch house has WW-D-WWW-WW fenestration and a hipped, asphalt shingle roof. Windows are paired and tripartite 8/8 double hung vinyl replacements. The front door, sheltered by a recessed porch, retains four-light wooden sidelights. The house is a linear with clusters Ranch type with a front-projecting vinyl-sided wing, or cluster, at the northwest/left side of its façade. The front-projecting wing contains a paired window on its façade and a glass block window on its southeast elevation closest to the recessed front porch. In addition to its different exterior siding material and its orientation to the poured concrete driveway, the glass block window may indicate that the front-projecting wing is an enclosed garage. The front-projecting wing has a hipped, asphalt shingle roof. At the center of the roof ridge, the house has a wide brick chimney with a metal flue cover. The house rests on a poured concrete foundation. The house is not associated with any supporting resources.



Plate 459. House, façade, looking northeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 139

House

KE-917

Circa 1960s

34 Ashton Road

Fort Mitchell, KY 41017

39.050998, -84.557357



Plate 460. House, looking northeast.

Description:

This front gable, brick veneer house is a late 1960s infill between two existing houses. The house has WWW-D fenestration, and its windows are 1/1 and fixed vinyl replacements. The front door is accessed by a poured concrete stoop with decorative metal railings. In an attempt at good infill design, the house draws from the earlier Tudor Revival style houses on the same street with its prominent front gable highlighted by a simple scalloped wooden vergeboard and scalloped wooden trim in the gable area. Along the lower third of the façade stone veneer provides a further Tudor Revival influence. Additionally, the house has a wide, tall brick chimney in the northwest/left slope of its front gable roof which is another nod to the Tudor Revival style. The house has a shed roof car port along its southeast/right elevation which has the same scalloped trim along its eaves as that found along the eaves of the gable. The house is associated with a (B) storage shed.

The storage shed (B), which was only partially visible, is a prefabricated frame building with an asphalt shingle, gable roof. The storage shed is located at the northern (rear) corner of the house.



Plate 461. House, looking north.



Plate 462. Storage shed (B), looking northeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a front gable house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 140

Ranch House
KE-918
Circa 1950s
32 Ashton Road
Fort Mitchell, KY 41017
39.050907, -84.557176



Plate 463. House, looking east.

Description:

This brick veneer Ranch house has WW-WWW-D fenestration. Windows are generally vinyl slider windows with a fixed tripartite vinyl picture window on the façade. The picture window and front door are sheltered by an extension of the front slope of the side gable roof and access to the front door is provided by a wide poured concrete stoop. The house has a side gable, asphalt shingle roof which has been vinyl sided in the gable areas at the ends of the building. The house rests on a parged concrete block basement foundation. The house is not associated with any supporting resources.



Plate 464. House, façade, looking northeast.



Plate 465. House, looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 141

House

KEFM-305

Circa 1940s

28 East Orchard Road

Fort Mitchell, KY 41011

39.052717, -84.546583



Plate 466. House, looking east.

Description:

This 1.5 story, vinyl-sided frame house has WWW-D fenestration. Windows are 1/1 vinyl replacements with a vinyl replacement picture window on the façade. The house has a side gable, asphalt shingle roof with a wide, asphalt shingle shed roof dormer containing two 1/1 vinyl replacement windows. The aerial view of this house also appears to show a rear, wide shed roof dormer as well. The replacement front door is sheltered by a recessed front corner porch with a flat roof and narrow square-sided wooden supports. At the northwest/left gable end of the house is an exterior, shouldered brick end chimney. The house rests on a continuous, parged concrete foundation. The previous KHC survey form for this property noted that the house rested on an “ornamental concrete block foundation,” so it is likely parged rusticated concrete block. The surveyor who completed the previous KHC survey form speculated that this house may have started as a bungalow which experienced a partial front porch enclosure later. The house is associated with a non-historic storage shed (B).

The storage shed (B) is a side gable, prefabricated frame building with double hinged doors on its front elevation. The storage shed has an asphalt shingle roof.



Plate 467. Storage shed (B) and House, façade, looking northeast.



Plate 468. Storage shed (B) and House, looking north.



Plate 469. Storage shed (B), looking northeast.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a side gable house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 142

House

KEFM-304

Circa 1930s

30 East Orchard Road

Fort Mitchell, KY 41011

39.05265, -84.546483



Plate 470. House, looking north.

Description:

This is a single story brick veneer Tudor Revival style house with W-D-WW fenestration which rests on a continuous, parged basement foundation of unknown material which includes a coal chute. Windows are 4/4 and 6/6 simulated divided light vinyl replacements. The central front door is located within a projecting, gable roof entrance bay and the door opening is framed by stone veneer. The house has a cross gable at the southeast end of its side gable roof; the gable area within this cross gable is vinyl sided. Access to the front door is provided by a set of steps that rise past the basement level to the ground floor and end at a wide concrete stoop/patio surrounded by a metal railing. At the southeast end of the front elevation is a basement one-car garage (with overhead garage door) accessed directly from the concrete driveway. This house is not associated with any supporting resources.



Plate 471. House, looking east.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Tudor Revival house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 143

House

KEFM-301

Circa 1940s

31 East Orchard Road

Fort Mitchell, KY 41011

39.052277, -84.546726



Plate 472. House, looking south.

Description:

This two story, brick veneer Colonial Revival style house has W-D-W fenestration. Windows are 1/1 vinyl replacements, and the central front door is framed by two-light sidelights and is sheltered by a pedimented front porch with narrow, square-sided supports and shingle textured vinyl siding in its pediment. Since the date of its last survey in 2009, a former wooden Colonial Revival pedimented door surround with pilasters framing the door has been removed and replaced with the existing sidelights and pedimented porch. The main roof of the house is a side gable, asphalt shingle roof. The house has two wall dormers on its façade which help extend the upper living space to a second full story. At the southeast/left gable end of the house is a shed roof porch with poured concrete pad which was in place at the date of last survey and which shelters a side, single leaf entrance. The house rests on a parged basement foundation of unknown material. The house is not associated with any supporting resources.



Plate 473. House, façade, looking southwest.



Plate 474. House, looking northwest.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Colonial Revival style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 144

House

KEFM-302

Circa 1940s

29 East Orchard Road

Fort Mitchell, KY 41011

39.052403, -84.546859



Plate 475. House, looking west.

Description:

This two story, brick veneer, Colonial Revival style house has D-W-W fenestration. Windows are 1/1 simulated divided light vinyl replacements. The off-center front entrance is sheltered by a pedimented, front gable porch addition with non-historic turned wooden supports, wooden paneling in its gable area, and a poured concrete pad. At the northwest/right side of the façade is a first story, false-shaped arched window composed of one of the same 1/1 double hung windows found throughout the house but with the addition of a semicircular fanlight style window above. The lower portion of this fanlight style window, as well as the lower portion of the front entrance, are highlighted by stone accents. Gable areas at the gable ends of the house are vinyl sided. At the southeast/left gable end of the house is an exterior, brick veneer chimney. The house has a side gable, asphalt shingle roof. Although the continuous basement foundation material was not visible due to ivy growth at the date of the current survey, the previous survey form indicated that it was a concrete foundation. The house has what appear to be two aluminum-sided, frame, rear additions with different roof pitches (one with a shed, one with a hipped asphalt shingle roof) which are wide enough to extend past the original southeast/left

wall of the house and are thus visible when viewing the house from the front. The house is not associated with any supporting resources.



Plate 476. House, façade, looking southwest.



Plate 477. House, looking south.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Colonial Revival style house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 145

Central Church of the Nazarene

KEFM-290

Circa 1960s

2006 Pieck Drive

Fort Wright, KY 41011

39.053179, -84.545772



Plate 478. Church and (B) stone entrance posts, looking west.

Description:

The brick veneer Central Church of the Nazarene building has W-D-W-W-W-W-WWWDD-WWW-DD-WWW-WWWWWW-W-W-W-DD-(W-W-W-W) fenestration. The church has aluminum 1/1 and fixed storefront type windows in addition to geometric stained glass windows in the sanctuary. Doors in the building are both metal and glass. The building has an aluminum storefront system at the entrance to the vestibule. Above, visible in the aluminum-sided gable of the sanctuary, is a tripartite geometric stained glass window. The church has what appears to be a metal, octagonal steeple replicating the look of a bell tower.

The church has a generally cross gable roofline with a shallow extension of the front slope of the main roof extending down over a section of façade including a ribbon of windows. The gable oriented sanctuary of the church is flanked by side gable classroom wings; the wing at the northeast end connects to what appears to be an attached gable oriented annex built over a basement. The church rests on a poured concrete foundation. A commemorative block mortared into the façade reads, “Ludlow First Church of the Nazarene, A.D. 1941.” Although the previous survey form provides a 1941

date for the church for this reason, this church does not appear on historic aerial maps until after 1960 and before 1969. As a result, this block was most likely only commemorating the parent church of the Central Church of the Nazarene which was established in Ludlow in 1941 most likely. The church is associated with two pairs of mortared stone entrance posts (B) and (C) as well as with a low mortared stone wall (D) which frames the semicircular entrance drive off Pieck Drive and continues around the building defining the church from the parking areas. The church is also associated with a concrete block storage building which also serves as an Interstate sign (E) for the church.

The stone entrance posts (B) and (C) are square-sided posts consisting of approximately eleven courses of mortared, rough-cut fieldstones with a coping of fieldstones oriented on their narrow ends and laid pointing inward. The pairs of posts are located at each end of the semicircular entrance drive off Pieck Drive. A low, mortared rough-cut fieldstone wall (D) extends along the entrance posts, continuing along the drives and the edges of the building and defines the edge of the church from the parking areas. The low wall is approximately two courses high. The church is also associated with a concrete block and brick veneer storage building/Interstate sign (E) with a narrow overhead garage door in its southeast elevation. The storage building/Interstate sign has a trapezoidal footprint narrowing toward its northwest elevation closest to the Interstate. Along both its northeast and southwest elevations are signs meant to attract I-71/I-75 Interstate travelers' attention with large blue and black letters reading either, "Central Church of the Nazarene, Exit 188 Turn Right," or "Central Church of the Nazarene, Exit 189, Turn Left" depending on the direction of travel and with changeable sign boards beneath on both elevations reading either, "Sunday School 9:30, Morning Worship 10:45" or a changing inspirational message depending on the direction of travel.



Plate 479. Church, façade, looking northwest



Plate 480. Church and storage building/Interstate sign (E), looking southwest.

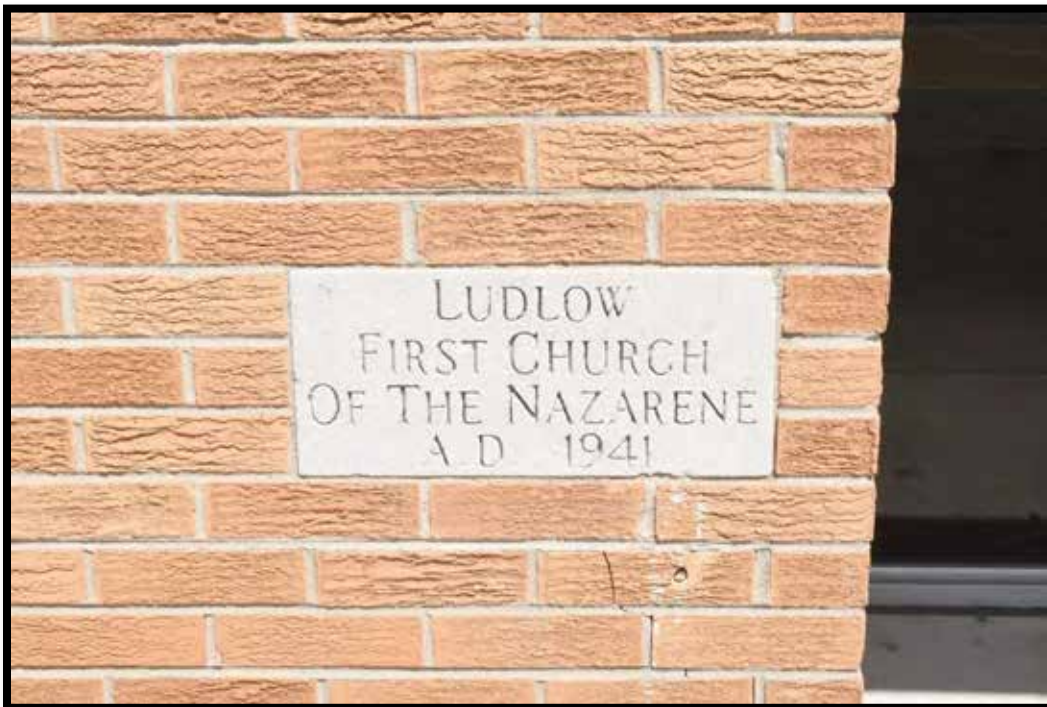


Plate 481. Detail photo of commemorative block with date of establishment of parent church in Ludlow (not actual construction date).



Plate 482. Stone entrance posts (C), low stone wall (D), and church, looking north.



Plate 483. Storage building/Interstate sign, looking west.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. As an example of a religious building, the church is being evaluated under Criteria Consideration A. Under the Criteria Consideration, the church does not possess historic significance based on its architectural or artistic values or for important historic or cultural forces that at the property represents. Additionally, the Criteria are considered in secular terms. It is not a notable example of a church in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criteria Consideration A/Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criteria Consideration A/Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criteria Consideration A/Criterion A.

Effects Assessment: Not Applicable

Field Site 146

House

KEFM-289

Circa 1960s

2000 Pieck Drive

Fort Wright, KY 41011

39.053642, -84.544952



Plate 484. House, looking north.

Description:

This brick veneer Ranch house has W-W-D-WWW-D fenestration and a hipped, asphalt shingle roof. Windows are 1/1 double hung vinyl replacements. A pedimented front porch with turned wooden supports shelters the front entrance and its sidelights. Window openings appear to have been reduced for smaller non-historic replacement windows. At the northeast/right end of the façade is an integral garage with an overhead garage door. Adjacent to the garage door is a vinyl picture window. At the rear of the house is a rear, single leaf door accessed by a non-historic deck with wooden balusters and metal railings. The house rests on a poured concrete partial basement foundation and has an interior, brick veneer chimney in the rear slope of its hipped roof. The survey team suspected, due to the proximity of the house to the Central Church of the Nazarene/KEFM-290, that it may have once been owned by the church. Further support for this idea is provided by historic aerials which show that the house was built between 1960 and 1969 which is the same time frame as the period of construction for the Central Church of the Nazarene/KEFM-290. This house may have once served as the parsonage for the church

although more evidence would be required to confirm that, and it now has a different owner. The house is associated with a (B) chicken house located at its northern/rear corner.

The associated (B) chicken house is a post-in-ground, frame building which appears to still be under construction, but which has partially oriented strand board walls and chicken wire around all its elevations.



Plate 485. House, façade, looking northwest.



Plate 486. House, looking southeast.



Plate 487. Chicken house (B), looking southeast.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 147

Ranch House
KEFM-287
Circa 1960s
1953 Pieck Drive
Fort Wright, KY 41011
39.05423, -84.544722



Plate 488. House, façade, looking northwest.

Description:

This brick veneer Ranch house has a linear with clusters form and a W-D-WWW-W-D fenestration. Windows are 1/1 double hung vinyl replacements with a vinyl oriel picture window on the facade. The house has a cross gable, asphalt shingle roof with a cluster formed by a gable oriented cross gable at the southwestern/left end of the house. At the northeast end of the house, the roof height drops slightly over the attached two-car garage with overhead garage door. The front door with sidelights and replacement vinyl oriel picture window to its right on the façade are sheltered by an extension of the front slope of the side gable roof forming a porch with vinyl column supports. The foundation of the house was not visible at the date of survey; however, its previous survey form from 2009 indicated that it rested on a poured concrete slab foundation. The parcel is owned by the Central Church of the Nazarene. The house is not associated with any supporting resources.



Plate 489. House, looking northeast.



Plate 490. House, looking northwest.

NRHP Eligibility: Not Eligible

This property has been previously determined *Not Eligible* for listing in the NRHP. This property continues to be recommended *Not Eligible* for listing in the NRHP. Although its actual religious use is undetermined, since this parcel is owned by the church, the ranch house is considered a religious building. As such, the house is being evaluated under Criteria Consideration A. Under the Criteria Consideration, the house does not possess historic significance based on its architectural or artistic values or for important historic or cultural forces that at the property represents. Additionally, the Criteria are considered in secular terms. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criteria Consideration A/Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criteria Consideration A/Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criteria Consideration A/Criterion A.

Effects Assessment: Not Applicable

Field Site 151

House

KE-927

Circa 1954

15 Highview Drive

Covington, KY 41011

39.057128, -84.541051



Plate 491. House, looking east.

Description:

This resource is a single story Ranch house constructed circa 1954. The resource is clad in a brick veneer. The house has a hip roof covered with asphalt shingles. The façade features a W-D-W-W fenestration pattern with 2/2 wood sash and a wood picture window. Decorative stone quoins surround the centrally located entry, which is covered by a modern storm door. The door is accessible from an unsheltered concrete stoop. An exterior brick chimney is located along the northeast elevation. The resource sits on a poured concrete foundation. There are no outbuildings associated with this property.



Plate 492. House, looking east.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 157

House
KE-932
Circa 1965
1606 Marcella Drive
Covington, KY 41011
39.058744, -84.53502



Plate 493. House, looking northwest.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick veneer. The house has a side gable roof covered with asphalt shingles. Metal siding is located within the gables. There is a W-W-D-W-W fenestration pattern with 1/1 vinyl windows, flanked by nonoperational shutters. The centrally located entry contains a half-light wood door and is accessible by a covered two-bay porch. The resource sits on a poured concrete foundation. There are no outbuildings associated with this property.



Plate 494. House, looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 158

House

KE-933

Circa 1965

1604 Marcella Drive

Covington, KY 41011

39.058832, -84.53482



Plate 495. House, looking north.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick and stone veneer. The house has a side gable roof covered with asphalt shingles. Metal siding is located within the gables. The facade has a W-W-D-W fenestration pattern with 1/1 vinyl windows, flanked by nonoperational modern shutters. The entry is accented by stone or concrete quoins and is sheltered by a storm door. The three light wood door is accessible from an unsheltered concrete stoop. The resource sits on a poured concrete foundation. Located to the north of the primary resource is a storage shed/workshop (B). The frame building is topped with a gable roof and contains a wood door covered by an awning.



Plate 496. Storage shed (B), looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 159

House

KE-934

Circa 1965

1602 Marcella Drive

Covington, KY 41011

39.058941, -84.534633



Plate 497. House, looking north.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick veneer. The house has a cross gable roof covered with asphalt shingles. Wood siding is located within the gable front and metal siding is located within the side gables. There is a W-W-D-W fenestration pattern which contains 1/1 vinyl windows and 6/6 vinyl windows, flanked by nonoperational shutters. The entry contains a modern nine light door covered by a storm door and is accessible from an unsheltered concrete stoop. The resource sits on a poured concrete foundation. There are no outbuildings associated with this property.



Plate 498. House, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 160

House
KE-935
Circa 1965
1600 Marcella Drive
Covington, KY 41011
39.05903, -84.534461



Plate 499. House, looking north.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick veneer which has been painted. The house has a side gable roof, covered with asphalt shingles. Metal siding is located within the gables. There is a W-W-D-W fenestration pattern which contains 1/1 vinyl windows flanked by nonoperational shutters. The entry contains a modern nine-light door covered by a storm door and is accessible from an unsheltered concrete stoop. The resource sits on a poured concrete foundation. Located to the northeast of the primary resource is a prefabricated storage shed (B). The modern frame shed is clad in wood siding and topped with a gambrel roof.



Plate 500. House, looking southwest.



Plate 501. Shed (B), looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 161

House

KE-936

Circa 1965

1598 Marcella Drive

Covington, KY 41011

39.05912, -84.534271



Plate 502. House, looking north.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick veneer. The house is topped with a low-hipped monitor roof covered with asphalt shingles. There is a W-W-D-W fenestration pattern which contains vinyl casement windows and a three light bay window. The modern wood entry door is covered by a storm door and is accessible from an unsheltered concrete stoop. The resource sits on a poured concrete foundation. There are no outbuildings associated with this property.



Plate 503. House, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 162

House

KE-937

Circa 1965

1596 Marcella Drive

Covington, KY 41011

39.059254, -84.533962



Plate 504. House, looking northwest.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in brick veneer with wood siding accenting the windows on the facade. The house has a hipped roof covered with asphalt shingles. There is a W-W-D-W fenestration pattern with vinyl casement windows and a five light bay window. A modern clad entry door with some Craftsman-style details, provides entry into the house. The door is accessible from an unsheltered concrete stoop. The resource sits on a poured concrete foundation. An integral carport is located along the east elevation. The carport is supported by metal posts. There are no outbuildings associated with this property.



Plate 505. House, looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 163

House

KE-938

Circa 1965

1594 Marcella Drive

Covington, KY 41011

39.059378, -84.533773



Plate 506. House, looking northwest.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick veneer and vinyl siding within the gable. The house has a side gable roof covered with asphalt shingles. There is a W-W-D-W fenestration pattern with 1/1 vinyl windows and a vinyl picture window. The modern wood door contains four lights and is accessible from an unsheltered concrete stoop. The resource sits on a poured concrete foundation. There are no outbuildings associated with this property.



Plate 507. House, looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 164

House
KE-939
Circa 1965
1592 Marcella Drive
Covington, KY 41011
39.059464, -84.533606



Plate 508. House, looking north.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick veneer and vinyl siding at the gable. The house has a side gable roof covered with asphalt shingles. There is a W-W-D-W fenestration pattern. The light configuration and window material was difficult to determine at the time of survey due to the circa 1965 metal awnings. The entry contains a modern single light door and is accessible by a two bay porch. The resource sits on a poured concrete foundation. An addition is attached to the rear of the primary resource. Located to the northwest of the primary resource is a frame pergola (B) which was obstructed from view at the time of the survey. Located to the northwest of the primary resource is a modern prefabricated shed (C). The shed is clad in wood siding and topped with a gambrel roof covered with asphalt shingles.



Plate 509. House, looking northwest.



Plate 510. Shed (B), looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 165

House

KE-940

Circa 1965

1590 Marcella Drive

Covington, KY 41011

39.059563, -84.533446



Plate 511. House, looking northwest.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick veneer and vinyl siding within the gable. The house has a side gable roof covered with asphalt shingles. There is a W-W-D-W fenestration pattern with 1/1 metal windows. The single-light modern wood door is covered by a metal storm door. The entry is accessible from an unsheltered concrete stoop. The resource sits on a poured concrete foundation. Located to the northwest of the primary resource is a metal carport (B). The carport is topped with a metal panel covering. A modern frame storage shed is located to the northwest of the primary resource (C). This prefabricated building is clad in wood siding and topped with a gambrel roof covered with asphalt shingles.



Plate 512. House, looking north.



Plate 513. Carport (B), looking northwest.



Plate 514. Shed (C), looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 166

House

KE-941

Circa 1965

1588 Marcella Drive

Covington, KY 41011

39.059689, -84.533224



Plate 515. House, looking northwest.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick veneer and metal siding within the gable. The house has a side gable roof, covered with asphalt shingles. There is a W-W-D-W fenestration pattern with 1/1 vinyl windows, flanked by modern nonoperational shutters. The modern single-light wood entry is covered by a fifteen-light storm door. The door is accessible from an unsheltered concrete stoop. The resource sits on a poured concrete foundation. Located to the northwest of the primary resource is a prefabricated storage shed (B). The shed is clad in wood siding and topped with a gable roof covered with asphalt shingles.



Plate 516. House, looking north.



Plate 517. Shed (B), looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 167

House

KE-942

Circa 1965

1586 Marcella Drive

Covington, KY 41011

39.059781, -84.533043



Plate 518. House, looking northwest.

Description:

This resource is a single story Ranch house constructed circa 1965. The resource is clad in a brick veneer and vinyl siding within the gable. The house has a side gable roof covered with asphalt shingles. There is a W-W-D-W fenestration pattern with 1/1 vinyl windows, flanked by nonoperational shutters. The modern entry contains four lights and is covered by a metal storm door. The entry is accessible by a single bay porch topped with a gable front. The resource sits on a poured concrete foundation. Located to the northwest of the primary resource is a modern prefabricated workshop (B). The workshop is clad in wood siding and topped with a side gable roof covered with asphalt shingles.



Plate 519. House, looking north.



Plate 520. Workshop, looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Ranch house in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 178

House
KE-920
Circa 1940
4 Page Road
Fort Mitchell, KY 41017
39.049043, -84.556223



Plate 521. House, looking south.

Description:

This resource is a 1.5 story house constructed circa 1950, located in the Beechwood neighborhood. The resource is clad in brick veneer and features a large shed-roofed dormer on the façade. The dormer is clad in a vinyl siding, and has two 6/1 wood windows. The house has a side gable roof, covered in asphalt shingles. An interior brick end chimney is located on the north elevation. There is a W-D-W fenestration pattern which contains 6/6 wood windows. The centrally located entry contains a Colonial Revival door surround with fluted pilasters and a dentiled cornice. Entrance can be accomplished through a modern clad door from a small concrete entry stoop. A banked garage is located on the basement level of the north elevation. An addition clad in vinyl siding sits on top of the garage and contains 1/1 vinyl windows. The resource sits on a poured concrete foundation. There are no outbuildings associated with this property. A stone retaining wall runs along the driveway (B).



Plate 522. House, looking north.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Fort Mitchell or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 179

House

KE-919

Circa 1930

2 Page Road

Fort Mitchell, KY 41017

39.049154, -84.556047



Plate 523. House, looking northeast.

Description:

This resource is a 1.5 story house, constructed circa 1930. The resource is clad in a brick veneer and topped with a clipped hip roof covered in asphalt shingles. A large shed-roofed stuccoed dormer is centrally situated on the façade's second half-story and features four 1/1 vinyl sash. It is possible that this dormer is a later addition. The house has two interior brick chimneys; one is located near the house's north elevation and the other is positioned at the roof's peak. The main entry is accessible from the porch's south elevation and features a four-pane wood panel door. The façade has a W-W fenestration pattern with vinyl casement windows. All of the windows are vinyl sash of varying configurations; most of which have a brick jack arch and concrete sills. There is an additional side entry door located along the south elevation. The modern glazed door has two lights. The presence of round brick arch above this door indicates that it was an original entryway and not a later addition. A large frame addition is located along the east (rear) elevation. There are no outbuildings associated with this property.



Plate 524. House, looking southeast.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a house in Fort Mitchell or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 186

Bridge No. 059B00040N

KEC-1058

Circa 1963

West Third, Fourth, and Fifth Streets

Covington, KY 41011

39.086444, -84.522757



Plate 525. Bridge No. 059B00040N. Fourth Street access ramp (left foreground) to I-75/I-71 northbound lanes and Third Street section of the Third, Fourth, and Fifth Street's I-71/75 access overpass (right background) to Brent Spence Bridge, looking NW.

Description:

This resource is a circa 1963 interstate highway approach bridge located to the immediate south of the I-75/I-71 Brent Spence Bridge. This bridge crosses over West Third, Fourth, and Fifth Streets in Covington. This bridge also includes two connector ramps. The first provides access to I-75/I-71 northbound lanes and the second ramp provides access to Fifth Street into Covington from I-75/I-71 southbound lane. The southern section of this bridge consists of two separate northbound and southbound lanes which transition into a “double-decker” stacked design at the northern section at the Fourth Street overpass. The multi-beam steel girders, supported by steel reinforced concrete piers, hold the road decking and safety wall, which are also reinforced steel and poured concrete.



Plate 526. Bridge No. 059B00040N. Fourth Street overpass of Third, Fourth, and Fifth Street's approach of I-75/71 to Brent Spence Bridge (Bridge No. 059B00046N), looking west.



Plate 527. Bridge No. 059B00040N. Fifth Street section of Third, Fourth, and Fifth Street's overpass approach of I-75/71 to Brent Spence Bridge (Bridge No. 059B00046N), looking northeast.



Plate 528. Bridge No. 059B00040N. Underneath decking, girders, and piers of Third, Fourth, and Fifth Street overpass approach of I-75/71 to Brent Spence Bridge (Bridge No. 059B00046N), looking northeast.

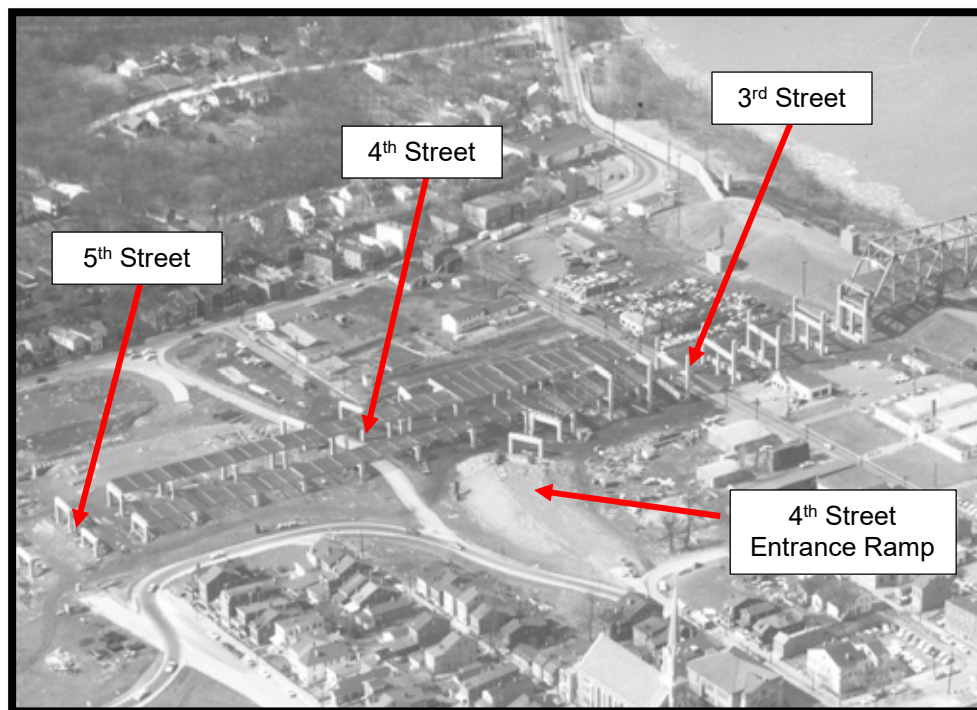


Plate 529. Circa 1963 photos depicting the construction of Bridge No. 059B00040N/Third, Fourth, and Fifth Street overpass approach of I-75/71 to Brent Spence Bridge (Bridge No. 059B00046N).

NRHP Eligibility: Not Eligible

This approach bridge is recommended not eligible for the NRHP. The circa 1963 steel and reinforced concrete bridge is part of the approach network on the Kentucky side of the Ohio River, and makes it possible for the double-decker design of the Brent Spence Bridge to work. In spite of this functional importance, this approach bridge is not significant as a work of engineering and maintains the basic appearance of any other circa 1963 highway approach bridge. There is nothing important about the design and if this piece were removed, it would not impact the integrity of the Brent Spence Bridge. Therefore, this approach bridge is recommended not eligible for the NRHP under Criterion C. As well, the bridge does not have importance to the cities of Covington or Cincinnati. The bridge cannot be eligible under Criterion B, per NRHP Bulletin 15, *How to Apply the National Register Criteria for Evaluation*, page 16.

Field Site 187

Bridge No. 059B00039N

KEC-1037

Circa 1963

West Fifth Street

Covington, KY 41011

39.085259, -84.523439



Plate 530. Bridge No. 059B00039N, looking south.

Description:

This structure is a circa 1963 overpass bridge. This bridge carries the I-71/75 southbound lane Fifth Street exit and also carries the eastbound West Fifth Street overpass from Crescent Avenue. This bridge spans approximately 62 feet wide and crosses over the I-71/75 southbound entrance ramp from West Fourth Street/Crescent Avenue. It is a single-span concrete T-beam structure with concrete piers, with abutments, and has reinforced concrete deck with solid concrete guardrails. The south rail is topped with an aluminum tube rail and a chain link safety fence has been installed.



Plate 531. Bridge No. 059B00039N. Left: looking north. Right: Underneath view of concrete piers, girders, and decking, looking SW.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of mid- to late twentieth century bridge. It does not display any distinctive characteristics of a type of a bridge design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This bridge does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the bridge does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 197

Bridge No. 059B00038R

KEC-1019

Circa 1960

West Ninth Street

Covington, KY 41011

39.079093, -84.521412



Plate 532. Bridge No. 059B00038R, looking north.

Description:

This resource is a 1960 interstate highway bridge, which crosses over West Ninth Street in Covington, Kentucky and carries the northbound lanes of I-75/71. One-hundred fifty-nine (159) feet in length, two open reinforced concrete T-beam pier trusses, flanked by earthen embankments, which support eight reinforced concrete girders, support this three span bridge. Closed reinforced concrete safety walls flank the bridge's poured concrete decking. The north and south earthen embankments are topped with poured concrete. Physical evidence indicates this bridge was widened to create safety lanes. Reviewing historic aerials from 1970, 1984, and 1993 confirm this bridge was widened on the west side between 1970 and 1984, and again on the east side between 1984 and 1993.⁴⁶⁷ The later widening campaign occurred due reconfigurations to the Twelfth Street entrance ramp and the Fifth Street exits ramp. The bridge runs concurrently to Bridge No. 059B00038L, which carries the southbound lanes of I-75/71.

⁴⁶⁷ Nationwide Environmental Title Research, *Historic Aerials*. Accessed online July 2022 at <https://historicaerials.com/viewer>.



Plate 533. Bridge No. 059B00038R. Left: Bridge, looking at substructure. Right: Bridge, looking south. Note the additions of piers and girders on the outsides of the bridge.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a bridge in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 198

Bridge No. 059B00038L

KEC-1020

Circa 1960

West Ninth Street

Covington, KY 41011

39.07901, -84.521615



Plate 534. Bridge No. 059B00038L, looking north.

Description:

This resource is a 1960 interstate highway bridge, which crosses over West Ninth Street in Covington, Kentucky and carries the southbound lanes of I-75/71. One-hundred fifty-nine (159) feet in length, two open reinforced concrete T-beam pier trusses, flanked by earthen embankments, which support eight reinforced concrete girders, support this three span bridge. Closed reinforced concrete safety walls flank the bridge's poured concrete decking. The north and south earthen embankments are topped with poured concrete. Physical evidence indicates this bridge was widened to create safety lanes. Reviewing historic aerials from 1970, 1984, and 1993 confirm this bridge was widened on the east side between 1970 and 1984, and again on the west side between 1984 and 1993.⁴⁶⁸ The later widening campaign occurred due to the reconfigurations of the Ninth and Twelfth Street entrance ramps. The bridge runs concurrently to Bridge No. 059B00038R, which carries the northbound lanes of I-75/71.

⁴⁶⁸ Nationwide Environmental Title Research, *Historic Aerials*. Accessed online July 2022 at <https://historicaerials.com/viewer>.



Plate 535. Bridge No. 059B00038L. Left: Bridge, looking north. Right: Bridge, looking at substructure. Note the additions of piers and girders on the outsides of the bridge.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a bridge in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 199

Bridge No. 059B00044R
West Tenth and West MLK Jr. Boulevard (West Tenth Street)
KEC-1018
Circa 1960
Covington, KY 41011
39.076832, -84.519812



Plate 536. Bridge No. 059B00044R, looking west.

Description:

This resource is a 1960 interstate highway bridge, which crosses over West Tenth Street and West Martin Luther King Boulevard (West Twelfth Street) in Covington, Kentucky and carries the northbound lanes of I-75/71. Six-hundred eighty-four feet (684) in length, ten open reinforced concrete T-beam pier trusses, flanked by earthen embankments, which support nine reinforced concrete girders, support this eleven-span bridge. Six interior girders on the northern span of the bridge are arched. Closed reinforced concrete safety walls flank the bridge's poured concrete decking. The north and south earthen embankments are topped with poured concrete. The piers and girders have varying levels of deteriorations, and in some locations, the reinforced steel is exposed. Physical evidence indicates this bridge was widened to create safety lanes. Reviewing historic aerials from 1970, 1984, and 1993 confirm this bridge was widened on the east side between 1970 and 1984, and again on the west side between 1984 and 1993.⁴⁶⁹ The later widening campaign occurred due to the reconfigurations of the Ninth and

⁴⁶⁹ Nationwide Environmental Title Research, *Historic Aerials*. Accessed online July 2022 at <https://historicaerials.com/viewer>.

Twelfth Street entrance ramps. The bridge runs concurrently to Bridge No. 059B00038R, which carries the southbound lanes of I-75/71.



Plate 537. Bridge No. 059B00044R. Left: Bridge, view of substructure. Right: Bridge, looking southeast.



Plate 538. Bridge No. 059B00044R. Left: Representative image depicting varying levels of deterioration, looking south. Right Arched central girders, looking NE.



Figure 90. Bridge No. 059B00044R. Photograph depicting this bridge being widened, April 3, 1981, looking north.⁴⁷⁰

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a bridge in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

⁴⁷⁰ Photo accessed online August 2022 at <https://facesandplaces.kentonlibrary.org/viewimage.php?i=di15428>.

Field Site 200

Bridge No. 059B00044L

KEC-1017

Circa 1960

West Tenth and West MLK Jr. Boulevard (West Tenth Street)

Covington, KY 41011

39.076782, -84.52009



Plate 539. Bridge No. 059B00044L, looking north.

Description:

This resource is a 1960 interstate highway bridge, which crosses over West Tenth Street and West Martin Luther King Boulevard (West Twelfth Street) in Covington, Kentucky and carries the southbound lanes of I-75/71. Six-hundred eighty-four feet (684) in length, ten open reinforced concrete T-beam pier trusses, flanked by earthen embankments, which support nine reinforced concrete girders, support this eleven-span bridge. Six interior girders on the northern span of the bridge are arched. Closed reinforced concrete safety walls flank the bridge's poured concrete decking. The north and south earthen embankments are topped with poured concrete. The piers and girders have varying levels of deteriorations, and in some locations, the reinforced steel is exposed. Physical evidence indicates this bridge was widened to create safety lanes. Reviewing historic aerials from 1970, 1984, and 1993 confirm this bridge was widened on the east side between 1970 and 1984, and again on the west side between 1984 and 1993.⁴⁷¹ The later widening campaign occurred due to the reconfigurations of the Ninth and

⁴⁷¹ Nationwide Environmental Title Research, *Historic Aerials*. Accessed online July 2022 at <https://historicaerials.com/viewer>.

Twelfth Street entrance ramps. The bridge runs concurrently to Bridge No. 059B00044R, which carries the northbound lanes of I-75/71.



Plate 540. Bridge No. 059B00044L. Left: Bridge, view of substructure and arched girders on north section of bridge. Right: Representative view of deterioration, looking east.



Figure 91. Bridge No. 059B00044L. Photograph depicting this bridge being widened, April 3, 1981, looking north.⁴⁷²

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a bridge in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building

⁴⁷² Photo accessed online August 2022 at <https://facesandplaces.kentonlibrary.org/viewimage.php?i=di15428>.

design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 201

Bridge No. 059B00047N

KE-951

Circa 1960, reconstructed 1992

Kyles Lane

Fort Wright, KY 41011

39.059003, -84.538475



Plate 541. Bridge No 059B00047N, looking southwest.

Description:

This resource is a 1960 interstate highway bridge, which carries Kyles Lane over the north and southbound lanes of I-75/71 in Fort Wright, Kentucky. Two-hundred fifty-four feet (254) in length, three open reinforced concrete continuous T-beam pier trusses, flanked by earthen embankments, which support ten reinforced concrete girders, support this four-span bridge. Short continuous concrete rails, topped with open metal tube railing, flank the bridge's poured concrete decking. The north and south earthen embankments are topped with poured concrete. In the early 1990s, this bridge was reconstructed. Historic aerials from 1993 and 2000, confirm this bridge reconstruction when the full cloverleaf entry and exit ramp interchange was removed and a diamond pattern interchange was built.⁴⁷³

⁴⁷³ Nationwide Environmental Title Research, *Historic Aerials*. Accessed online July 2022 at <https://historicaerials.com/viewer>.



Plate 542. Bridge No 059B00047N. Left: Bridge, looking east. Right: Bridge, view of substructure.



Figure 92. Bridge No 059B00047N. Image of original full cloverleaf interchange, 1963, looking east.⁴⁷⁴

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a bridge in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

⁴⁷⁴ Photo accessed online August 2022 at <https://facesandplaces.kentonlibrary.org/viewimage.php?i=di128120>.

Effects Assessment: Not Applicable

Field Site 202

Bridge No. 059B00043R

KE-949

Circa 1960

Rivard Drive

Fort Wright, KY 41011

39.056507, -84.542853



Plate 543. Bridge No. 059B00043R, looking northwest.

Description:

This resource is a 1960 interstate highway bridge, which crosses over Rivard Drive in Fort Wright, Kentucky and carries the northbound lanes of I-75/71. One-hundred fifty-nine feet (159) in length, two open reinforced concrete T-beam pier trusses, flanked by earthen embankments, which support eight reinforced concrete girders, support this three-span bridge. Closed reinforced concrete safety walls flank the bridge's poured concrete decking. Physical evidence indicates this bridge was widened to create safety lanes. Reviewing historic aerials from 1970, 1984, and 1993 confirm this bridge was widened on the east side between 1970 and 1984, and again on the west side between 1984 and 1993.⁴⁷⁵ The bridge runs concurrently to Bridge No. 059B00043L, which carries the southbound lanes of I-75/71.

⁴⁷⁵ Nationwide Environmental Title Research, *Historic Aerials*. Accessed online July 2022 at <https://historicaerials.com/viewer>.



Plate 544. Bridge No. 059B0043R. Left: Bridge, looking west. Right: View of substructure.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a bridge in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 203

Bridge No. 059B00043L

KE-950

Circa 1960; reconstructed 1992

Rivard Drive

Fort Wright, KY 41011

39.056626, -84.543008



Plate 545. Bridge No. 059B00043L, looking northwest.

Description:

This resource is a 1960 interstate highway bridge, which crosses over Rivard Drive in Fort Wright, Kentucky and carries the southbound lanes of I-75/71. One-hundred fifty-nine feet (159) in length, two open reinforced concrete T-beam pier trusses, flanked by earthen embankments, which support eight reinforced concrete girders, support this three-span bridge. Closed reinforced concrete safety walls flank the bridge's poured concrete decking. Physical evidence indicates this bridge was widened to create safety lanes. Reviewing historic aerials from 1970, 1984, and 1993 confirm this bridge was widened on the east side between 1970 and 1984, and again on the west side between 1984 and 1993.⁴⁷⁶ The bridge runs concurrently to Bridge No. 059B00043R, which carries the northbound lanes of I-75/71.

⁴⁷⁶ Nationwide Environmental Title Research, *Historic Aerials*. Accessed online July 2022 at <https://historicaerials.com/viewer>.

This bridge was constructed circa 1960 using reinforced concrete. The bridge contains three spans and is 159 feet long. It carries I-71/I-75 traffic southwest over Rivard Drive. The bridge is supported by a concrete girder and T-beams. This bridge runs concurrently to 059B00043R.



Plate 546. Bridge No. 059B00043L. Left: Bridge, looking north. Right: View of substructure.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a bridge in Covington or Kenton County. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 216

House

KE-661

Circa 1930

278 Beechwood Road

Fort Mitchell, KY 41017

39.049787, -84.565278



Plate 547. House, looking northwest.

Description:

This single story house was constructed circa 1930 in the Craftsman style. The multi-level hipped roof is covered with asphalt shingles and includes two parged brick interior chimneys and a front gable dormer. The house is clad in brick veneer and horizontal wood siding. The windows are 1/1 vinyl sash with a large bay window that features a fixed pane picture window, flanked by 1/1 vinyl sash windows. The entry is a multi-light, decorative insert door protected by a full-length glass in metal frame storm door flanked by sidelights. The hipped roof porch roof rests on brick veneer columns with an ornamental metal railing. The foundation was not visible at the time of the survey. A front gabled garage (B) with asphalt shingle roof covering is located behind and northeast of the primary resource. The garage is clad in wood weatherboard and has two roll top garage doors.



Plate 548. Garage, looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a Craftsman style house. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 217

House

KEFM-333

Circa 1950

43 Ashton Road

Fort Mitchell, KY 41017

39.051198, -84.558715



Plate 549. House, looking northwest.

Description:

This ranch house was constructed circa 1950. The roof is side gabled, covered with asphalt shingles, and has a broad central interior brick chimney. The fenestration pattern is W-W-D-W, with 1/1 vinyl sash windows, and a glass block infilled window at the southeast part of the façade. The entry is recessed under the roof. On the southeast side of the house, the former garage door has been replaced with three sets of 1/1 fixed pane windows.⁴⁷⁷ The foundation is poured concrete. A frame garden shed (B) is located to the southwest of the primary resource. The shed has a side gabled, asphalt covered roof, and is clad in vertical wood panel siding.

This property was last surveyed as KEFM-333 in December 2009 and determined to be not eligible.

⁴⁷⁷ Parsons Brinkerhoff America in Association with Gray & Pape, Inc. *Brent Spence Bridge Replacement/Rehabilitation Project, History/Architecture Report, Kenton County, Kentucky, ODOT PID No. 75119, HAM-71/75-0.00/0.22, KYTC Project Item No. 6-17.* April 2010.



Plate 550. Left: Façade of house, looking southwest. Right: Garden shed, looking southwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a mid-century ranch house. It does not display any distinctive characteristics of a type of a building design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

Field Site 220

Radio Tower

KEC-1021

Circa 1955

Near 847 Philadelphia Street

Covington, KY 41011

39.080127, -84.5213386



Plate 551. Radio Tower, looking northwest.

Description:

This steel radio tower, which is known as the “WCVX-AM 1050” Radio Tower, was constructed circa 1955. This tower is characterized by its steel lattice triangular cross section design. The tower is fixed to three poured concrete footers and is painted red and white. A small frame outbuilding is located underneath the tower (B). This structure has an asphalt shingle gable roof. The height is unknown and may be a replacement from the original radio tower from circa 1955.



Plate 552. Outbuilding (background) (B), looking northwest.

NRHP Eligibility: Not Eligible

This property is recommended *Not Eligible* for listing in the NRHP. It is not a notable example of a radio tower. It does not display any distinctive characteristics of a type of a tower design that is rare or innovative in the region or state; therefore, it is not eligible for the NRHP under Criterion C. This property does not have an association with a significant person; therefore, it is not eligible for the NRHP under Criterion B. Finally, the property does not have an association significant to the history of Kenton County, and is therefore not eligible under Criterion A.

Effects Assessment: Not Applicable

SUMMARY AND RECOMMENDATIONS

Based on the historic context developed and the field survey results, Cardno recommends twenty-four (24) properties eligible for listing in the National Register of Historic Places (NRHP). The effects and eligibility for these properties is in summary form in **Table 11** below. Please note that effect recommendations are based on the most current information available to the authors prior to the date of the report. Any changes to the project plans after the date of the report may require reconsideration of effect recommendations. Individual narratives and the effects discussion can be found in Section 4 above.

Recommendations for future research include additional survey and consideration of the nomination of a NRHP district that may include all of West Side/Main Strasse including the portion currently listed in the NRHP as the Lee-Holman Historic District. The Seminary Square Historic District should not be included in this potential larger district since it has distinct areas of significance and architecture. It is also likely that there are additional, unidentified historic districts south of West 12th Street.

Additionally, the authors of this study recommend additional survey and contextual development as it relates to the entire C & O Railroad line in Kenton County, since that level of survey was beyond the scope of the current undertaking. This additional survey would include the railroad tracks, ties, bridges, and corridor itself in addition to any other railroad-associated infrastructure within or adjacent to the railroad corridor. This recommended future work would also involve the development of a more comprehensive historic context regarding the C & O Railroad and its associated historic resources for consideration as a linear historic district.

Table 11. NRHP Properties with Effects Determinations

Field Site No./KHC No.	Site Name	NRHP Status	Effects
FS 18/KECL-1018	House/521 Western Ave	Eligible	No Effects
FS 40/KEC-460	House/829-831 Highway Avenue	Eligible	No Effects
FS 50/KEC-1048	Futuro House/224 Wright Street	Eligible	No Effects
FS 58/KECL-1055	NKY Townhouse/611 Crescent Ave	Eligible	Adverse Effects
FS 71/ KEC-1064	Commercial Building/402 Bakewell Street	Eligible	No Effects
FS 75/KEC-107	C&O Railroad Bridge	Eligible	No Adverse Effects

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Field Site No./KHC No.	Site Name	NRHP Status	Effects
FS 76/ KEC-1038	Quality Inn/626 W. 5 th Street	Eligible	No Adverse Effects
FS 77/KEC-820	Brent Spence Bridge	Eligible	No Adverse Effects
FS 78/ KEC-1068	Covington Levee	Eligible	No Adverse Effects
FS 85/KECL-815	Bavarian Brewing Co./Kenton Co Govt Center	Listed	No Adverse Effects
FS 89/KEC-462	Bavarian Brewery Bottling Works/Glier's Goetta/533 Goetta Place	Eligible	No Adverse Effects
FS 93/KECL-692	House/536 West 13 th Street	Eligible	No Adverse Effects
FS 94/KEC-1011	House/534 West 13 th Street	Eligible	No Adverse Effects
FS 150/KEC-458	House/45 Rivard Drive	Eligible	No Adverse Effects
FS 174/KEC-456	House/1000 Emery Drive	Eligible	No Effects
FS 180/KE-09	West Side/Main Strasse Historic District	Listed	No Adverse Effects
FS 181/KE-010	Lewisburg Historic District	Listed	Adverse Effects
FS 182/ KE-011	Old Ft. Mitchell Historic District	Listed	No Effects
FS 183/ KE-012	Beechwood Historic District	Listed	No Effects
FS 184/KE-952	Sisters of Notre Dame Convent and Cemetery	Eligible	No Effects
FS 185/KE-07 AND KE-08	Elberta Apartments Historic District	Eligible	No Adverse Effects
FS 230/KEFM-150	Highland Cemetery	Listed	No Effects
FS 231/KE-013	Hillsdale Historic District	Eligible	No Adverse Effects
FS 233/KEC-1075 (formerly KEC-107)	Clay Wade Bailey Bridge	Eligible	No Adverse Effects

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Cultural Historic Survey

Brent Spence Bridge Renewal

KHC Previously Recorded Site

Results

Kenton County, Kentucky

APPENDIX

A

Field Survey Maps

Kentucky Heritage Council

State Historic Preservation Office

INVOICE

410 High Street
Frankfort, KY 40601
Email: khc-sitedata@ky.gov

June 20, 2022

Requested By:

Christopher Harris
christopher.harris@cardno.com
Stantec

Full Site Check

PROJECT REGISTRATION NO.	PRINCIPAL INVESTIGATOR
FY22-4812	Rachel M. Kennedy

PROJECT TITLE	Cultural Historic Survey for Brent Spence Bridge
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DESCRIPTION	DATE	AMOUNT
PDF Report	6/20/2022	\$75
GIS Shapefiles		\$40
Notes: Kenton County		
Paid Online	5/31/2022	(\$75)
	6/15/2022	(\$40)
Thank you for your payment!		
TOTAL DUE		\$0.00

If you have any questions about this invoice, please contact
khc-sitedata@ky.gov

Kentucky Heritage Council

Site Identification Program
410 High Street, Frankfort, KY 40601

Confidential Information Not for Public Release

Please note that those resources for which National Register status is listed as 'undetermined' may include those that have been previously determined eligible for listing in the National Register of Historic Places as part of a consensus determination between the SHPO and a Federal agency, but for which the determination field has not yet been updated.

Project Registration: FY22-4812

Date of check: 6/20/2022

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECB 12		WESLEYAN CHRISTIAN CHURCH (DEMOLISHED)	32 W 8TH ST COVINGTON KY	1925-1949	CLASSICAL REVIVAL	DEMOL FR ND,NN
KECB 38		WOLKING HOUSE (SEE ALSO KEC-56)	730 WASHINGTON ST COVINGTON KY	1900-1924	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECB 39		COMMERCIAL BLDG (SEE ALSO KEC-55)	726-728 WASHINGTON ST COVINGTON KY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECB 41		COMMERCIAL BLDG (SEE ALSO KEC-53)	710-720 WASHINGTON ST COVINGTON KY	1900-1924	INDUSTRIAL-20TH CENT.	N/R DISTRICT CONTRI. SITE
KECB 40		COMMERCIAL BLDG (SEE ALSO KEC-54)	722 WASHINGTON ST COVINGTON KY	1925-1949	MODERNE	N/R DISTRICT NON-CONTRIB.

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECM 2		HOUSE (DEMOLISHED)	501 W 9TH ST COVINGTON KY	1875-1899	SECOND EMPIRE/ MANSARD	DEMOL FR ND,NN
KEC 453		HOUSE (DEMOLISHED)	213 KENTUCKY AVE COVINGTON KY	1875-1899	GREEK REVIVAL	DEMOL FR ND,NN
KEFM 7		TRANTER/CROWE HOUSE	1870 DIXIE HIGHWAY	1900-1924	COLONIAL REVIVAL	UNDETERMINED
KECC 178		BUILDING (VACANT)	902 BANKLICK ST COVINGTON KY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KEC 456		HOUSE	1000 EMERY DR COVINGTON KY	1875-1899		MEETS N/R CRITERIA
KEC 457		HOUSE	801 HIGHWAY AVE COVINGTON KY	1900-1924		UNDETERMINED
KEC 459		APARTMENT BUILDING	509 ST JOSEPH LANE COVINGTON KY	1925-1949	ART DECO	MEETS N/R CRITERIA
KEC 460		HOUSE	881 HIGHWAY AVENUE COVINGTON KY	1850-1874		MEETS N/R CRITERIA
KEC 461		HOUSE	841 HIGHWAY AVENUE COVINGTON KY	1850-1874		UNDETERMINED
KEC 462		GLIER'S GOETTA	533 GOETTA PLACE COVINGTON KY	1900-1924	EXOTIC REVIVAL	MEETS N/R CRITERIA
KEC 621		HOUSE	504 WEST 12TH STREET COVINGTON KY	1875-1899	ITALIANATE	MEETS N/R CRITERIA

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEC 626		HOUSE	514 WEST 12TH ST COVINGTON KY	1875-1899	ITALIANATE	MEETS N/R CRITERIA
KEC 628		HOUSE	516 WEST 12TH ST COVINGTON KY	1875-1899	ITALIANATE	MEETS N/R CRITERIA
KEC 817		BAVARIAN BREWING COMPANY BUILDING	533 PIKE STREET COVINGTON KY	1850-1874	ITALIANATE	MEETS N/R CRITERIA
KECL1014		HOUSE	635 WESTERN AVE COVINGTON KY	1950-1974		UNDETERMINED
KECL1015		HOUSE	619 WESTERN AVENUE COVINGTON KY	1900-1924		UNDETERMINED
KECL1016		HOUSE	611 WESTERN AVE COVINGTON KY	1900-1924		UNDETERMINED
KECL1017		HOUSE	607 WESTERN AVE COVINGTON KY	1900-1924		UNDETERMINED
KECL1018		HOUSE	521 WESTERN AVE COVINGTON KY	1850-1874		MEETS N/R CRITERIA
KECL1019		HOUSE	517 WESTERN AVE COVINGTON KY	1900-1924	TUDOR REVIVAL	UNDETERMINED
KECL1020		HOUSE	507 WESTERN AVE COVINGTON KY	1900-1924		UNDETERMINED
KECL1021		HOUSE	417 WESTERN AVE COVINGTON KY	1900-1924		UNDETERMINED

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL1022		HOUSE	411 WESTERN AVENUE COVINGTON KY	1900-1924	TUDOR REVIVAL	UNDETERMINED
KECL1023		HOUSE	409 WESTERN AVENUE COVINGTON KY	1900-1924		UNDETERMINED
KECL1024		HOUSE	407 WESTERN AVENUE COVINGTON KY	1900-1924	TUDOR REVIVAL	UNDETERMINED
KECL1025		HOUSE	401 WESTERN AVENUE COVINGTON KY	1900-1924		UNDETERMINED
KECL1026		HOUSE	321 WESTERN AVENUE COVINGTON KY	1950-1974		UNDETERMINED
KECL1027		HOUSE	209 WESTERN AVENUE COVINGTON KY	1850-1874		UNDETERMINED
KECL1028		HOUSE	203 WESTERN AVENUE COVINGTON KY	1850-1874		UNDETERMINED
KECL1029		HOUSE	638 WESTERN AVENUE COVINGTON KY	1900-1924	CLASSICAL REVIVAL	UNDETERMINED
KECL1030		HOUSE	630 WESTERN AVENUE COVINGTON KY	1900-1924		UNDETERMINED
KECL1031		HOUSE	622 WESTERN AVENUE COVINGTON KY	1900-1924		UNDETERMINED
KECL1032		HOUSE	606 WESTERN AVENUE COVINGTON KY	1900-1924		UNDETERMINED

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL1033		HOUSE	604 WESTERN AVENUE COVINGTON KY	1950-1974		UNDETERMINED
KECL1034		HOUSE	641 CRESCENT AVENUE COVINGTON KY	1875-1899		UNDETERMINED
KECL1035		HOUSE	637 CRESCENT AVE COVINGTON KY	1875-1899		UNDETERMINED
KECL1036		HOUSE	635 CRESCENT AVENUE COVINGTON KY	1900-1924		UNDETERMINED
KECL1037		HOUSE	633 WESTERN AVENUE COVINGTON KY	1925-1949		UNDETERMINED
KECL1039		HOUSE	613 WESTERN AVE COVINGTON KY	1900-1924		UNDETERMINED
KECL1040		HOUSE	405 WESTERN AVENUE COVINGTON KY	1900-1924	TUDOR REVIVAL	UNDETERMINED
KECL1041		HOUSE	213 WESTERN AVENUE COVINGTON KY	1900-1924		UNDETERMINED
KECL1042		HOUSE	209 WESTERN AVENUE COVINGTON KY	1850-1874		UNDETERMINED
KECL1043		HOUSE	605 CRESCENT AVENUE COVINGTON KY	1875-1899		UNDETERMINED
KECL1044		HOUSE	601 CRESCENT AVENUE COVINGTON KY	1875-1899		UNDETERMINED

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL1045		HOUSE	205 WESTERN AVENUE COVINGTON KY	1900-1924		UNDETERMINED
KECL1046		HOUSE	632 WESTERN AVENUE COVINGTON KY	1900-1924	CRAFTSMAN	MEETS N/R CRITERIA
KECL1038		HOUSE	609 WESTERN AVE COVINGTON KY	1900-1924		UNDETERMINED
KECL1047		HOUSE	511 WESTERN AVENUE COVINGTON KY	1900-1924	CRAFTSMAN	UNDETERMINED
KECL1048		HOUSE	223 WESTERN AVENUE COVINGTON KY	1875-1899		UNDETERMINED
KECL1049		HOUSE	638 WESTERN AVENUE COVINGTON KY	1850-1874	CLASSICAL REVIVAL	UNDETERMINED
KECL1050		HOUSE	636 WESTERN AVENUE COVINGTON KY	1850-1874	CLASSICAL REVIVAL	UNDETERMINED
KECL1051		HOUSE	616 WESTERN AVENUE COVINGTON KY	1900-1924		UNDETERMINED
KECL1052		HOUSE	207 WESTERN AVENUE COVINGTON KY	1850-1874		UNDETERMINED
KECL1054		HOUSE	617 CRESCENT AVENUE COVINGTON KY	1875-1899	ITALIANATE	UNDETERMINED
KECL1055		HOUSE	611 CRESCENT AVENUE COVINGTON KY	1875-1899	ITALIANATE	UNDETERMINED

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL1056		HOUSE	333 WESTERN AVENUE COVINGTON KY	1925-1949		UNDETERMINED
KECL1053		HOUSE	625 CRESCENT AVENUE COVINGTON KY	1875-1899	ITALIANATE	UNDETERMINED
KECL1057		DUPLEX	619-621 CRESCENT AVENUE COVINGTON KY	1875-1899		UNDETERMINED
KECL1058		HOUSE	527 WESTERN AVENUE COVINGTON KY	1875-1899	SECOND EMPIRE/ MANSARD	UNDETERMINED
KECL1059		HOUSE	609 CRESCENT AVENUE COVINGTON KY	1875-1899	STICK/EASTLAKE	UNDETERMINED
KECL1060		ZIMMER HARDWARE STORE	537 PIKE STREET COVINGTON KY	1925-1949		UNDETERMINED
KEFM 287		HOUSE	1952 PIECK DRIVE FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED
KEFM 288		HOUSE	1999 PIECK DRIVE FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED
KEFM 289		HOUSE	2000 PIECK DRIVE FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED
KEFM 290		THE CENTRAL CHURCH OF THE NAZARENE	2006 PIECK DRIVE FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED
KEFM 291		HOUSE	2003 PIECK DRIVE FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 292		HOUSE	2005 PIECK DRIVE FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED
KEFM 293		HOUSE	2007 PIECK DRIVE FORT MITCHELL KY	1925-1949		UNDETERMINED
KEFM 294		HOUSE	2009 PIECK DRIVE FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 295		HOUSE	2011 PIECK DRIVE FORT MITCHELL KY	1925-1949	OTHER TURN OF THE CENTURY	UNDETERMINED
KEFM 296		HOUSE	38 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 297		HOUSE	37 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 298		HOUSE	35 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	CRAFTSMAN	UNDETERMINED
KEFM 299		HOUSE	33 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	CRAFTSMAN	UNDETERMINED
KEFM 300		HOUSE	34 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED
KEFM 301		HOUSE	31 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED
KEFM 302		HOUSE	29 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 303		HOUSE	32 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED
KEFM 304		HOUSE	30 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 305		HOUSE	28 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	CRAFTSMAN	UNDETERMINED
KEFM 306		HOUSE	10 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 307		HOUSE	8 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED
KEFM 308		HOUSE	4 LESLIE AVE FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED
KEFM 309		HOUSE	15 LESLIE AVENUE FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 310		HOUSE	13 LESLIE AVENUE FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 311		HOUSE	11 LESLIE AVENUE FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 312		HOUSE	9 LESLIE AVENUE FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED
KEFM 313		HOUSE	7 LESLIE AVENUE FORT MITCHELL KY	1950-1974	TUDOR REVIVAL	UNDETERMINED

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 314		HOUSE	5 LESLIE AVENUE FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 315		HOUSE	6 EAST ORCHARD ROAD FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED
KEFM 316		HOUSE	3 EAST ORCHARD ROAD FORT MITCHELL KY	1925-1949	CRAFTSMAN	UNDETERMINED
KEFM 317		HOUSE	2 EAST ORCHARD ROAD FORT MITCHELL KY	1850-1874		MEETS N/R CRITERIA
KEFM 318		APARTMENT BUILDING/ COMMERCIAL BUILDING	2011 DIXIE HIGHWAY FORT MITCHELL KY	1925-1949	CRAFTSMAN	UNDETERMINED
KEFM 319		HOUSE	2021 DIXIE HIGHWAY FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED
KEFM 320		DUPLEX	2025 DIXIE HIGHWAY FORT MITCHELL KY	1925-1949	CRAFTSMAN	UNDETERMINED
KEFM 321		HOUSE	2029 DIXIE HIGHWAY FORT MITCHELL KY	1925-1949	TUDOR REVIVAL	UNDETERMINED
KEFM 322		HOUSE	2033 DIXIE HIGHWAY FORT MITCHELL KY	1925-1949	CLASSICAL REVIVAL	UNDETERMINED
KEFM 323		HOUSE	2037 DIXIE HIGHWAY FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED
KEFM 324		COMMERCIAL BUILDING	2039 DIXIE HIGHWAY FORT MITCHELL KY	1950-1974		UNDETERMINED

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 325		HOUSE	2045 DIXIE HIGHWAY FORT MITCHELL KY	1925-1949	CRAFTSMAN	UNDETERMINED
KEFM 326		HOUSE	2049 DIXIE HIGHWAY FORT MITCHELL KY	1925-1949	CRAFTSMAN	UNDETERMINED
KEFM 327		INDIGO BAR & GRILL	2053 DIXIE HIGHWAY FORT MITCHELL KY	1875-1899	ITALIANATE	UNDETERMINED
KEFM 328		DUPLEX	15-17 WEST MAPLE AVENUE FORT MITCHELL KY	1950-1974	OTHER MODERN	UNDETERMINED
KEFM 329		HOUSE	37 1/2 ASHTON ROAD FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED
KEFM 330		HOUSE	39 ASHTON ROAD FORT MITCHELL KY	1925-1949	OTHER MODERN	UNDETERMINED
KEFM 331		HOUSE	40 ASHTON ROAD FORT MITCHELL KY	1925-1949	RANCH	UNDETERMINED
KEFM 332		HOUSE	41 ASHTON ROAD FORT MITCHELL KY	1925-1949	RANCH	UNDETERMINED
KEFM 333		HOUSE	43 ASHTON ROAD FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED
KEFM 334		HOUSE	216 ANA JO LANE FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED
KEFM 335		HOUSE	238 GRANDVIEW DRIVE FORT MITCHELL KY	1950-1974	RANCH	UNDETERMINED

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECB 1		DUPLEX (DEMOLISHED)	19-21 W 9TH ST COVINGTON KY	1875-1899	ITALIANATE	DEMOLISHED
KEPH 568		HOUSE	1000 AMSTERDAM ROAD PARK HILLS KY	1825-1849	OTHER EARLY REPUBLIC	N/R DISTRICT CONTRI. SITE
KEPH 569		HOUSE	1002 AMSTERDAM ROAD PARK HILLS KY	1875-1899	OTHER VICTORIAN	N/R DISTRICT CONTRI. SITE
KEPH 570		HOUSE	1004 AMSTERDAM ROAD PARK HILLS KY		OTHER TURN OF THE CENTURY	N/R DISTRICT NON-CONTRIB.
KEPH 571		HOUSE	1006 AMSTERDAM ROAD PARK HILLS KY	1850-1874	OTHER VICTORIAN	N/R DISTRICT CONTRI. SITE
KEPH 572		HOUSE	1008 AMSTERDAM ROAD PARK HILLS KY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KEPH 573		HOUSE	1010 AMSTERDAM ROAD PARK HILLS KY	1875-1899	OTHER VICTORIAN	N/R DISTRICT CONTRI. SITE
KEPH 574		HOUSE	1012 AMSTERDAM ROAD PARK HILLS KY		OTHER VICTORIAN	N/R DISTRICT NON-CONTRIB.
KEPH 575		HOUSE	1014 AMSTERDAM ROAD PARK HILLS KY	1950-1974	OTHER 20TH CENTURY	N/R DISTRICT NON-CONTRIB.
KEPH 580		HOUSE	937 MONTAGUE ROAD PARK HILLS KY	1875-1899	OTHER VICTORIAN	N/R DISTRICT CONTRI. SITE
KEPH 581		HOUSE	941 MONTAGUE ROAD PARK HILLS KY	1875-1899	OTHER VICTORIAN	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEPH 582		FRATERNAL/SOCIAL BUILDING/VETERANS OF FOREIGN WARS	945 MONTAGUE ROAD PARK HILLS KY	1950-1974	OTHER 20TH CENTURY	N/R DISTRICT CONTRI. SITE
KEPH 583		HOUSE	1001 MONTAGUE ROAD PARK HILLS KY	1875-1899	OTHER TURN OF THE CENTURY	N/R DISTRICT CONTRI. SITE
KEPH 584		HOUSE	1009 MONTAGUE ROAD PARK HILLS KY	1875-1899	OTHER TURN OF THE CENTURY	N/R DISTRICT CONTRI. SITE
KEPH 585		HOUSE	1015 MONTAGUE ROAD PARK HILLS KY	1875-1899	OTHER VICTORIAN	N/R DISTRICT CONTRI. SITE
KEPH 586		HOUSE	1035 MONTAGUE ROAD PARK HILLS KY	1975-2000	COLONIAL REVIVAL	N/R DISTRICT NON-CONTRIB.
KEPH 587		HOUSE	1006 LOCUST ST PARK HILLS KY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KEPH 588		HOUSE	1008 LOCUST ST PARK HILLS KY		ITALIANATE	N/R DISTRICT NON-CONTRIB.
KEPH 589		VACANT LOT	1010 LOCUST ST PARK HILLS KY			N/R DISTRICT CONTRI. SITE
KEPH 590		HOUSE	1025 MONTAGUE ROAD PARK HILLS KY	1950-1974	OTHER 20TH CENTURY	N/R DISTRICT NON-CONTRIB.
KEPH 591		VACANT LOT	1027 MONTAGUE ROAD PARK HILLS KY			N/R DISTRICT CONTRI. SITE
KEPH 594		HOUSE	1010 LOCUST ST PARK HILLS KY	1875-1899	OTHER VICTORIAN	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEPH 704		VACANT LOT	MONTAGUE ROAD ACROSS FROM DEVOU PARK PARK HILLS KY			N/R DISTRICT CONTRI. SITE
KEPH 705		VACANT LOT	1031 MONTAGUE ROAD PARK HILLS KY			N/R DISTRICT CONTRI. SITE
KEPH 729		VACANT LOT	1011 AMSTERDAM ROAD PARK HILLS KY			N/R DISTRICT CONTRI. SITE
KECL1085		BANK/COVINGTON DENTAL ASSOCIATE BUILDING	300 PIKE ST COVINGTON KY	1875-1899		UNDETERMINED
KEC 431		C & O RAILROAD WATCH TOWER	CSX TRACKS NEAR W 6TH ST	1925-1949	PRAIRIE/ WRIGHTIAN	UNDETERMINED
KEC 429		STAEGLE HOUSE	415 JOHNSON COVINGTON KY	1875-1899	ITALIANATE	UNDETERMINED
KEC 430		BATTAGLIA PROPERTY	407 MAIN ST COVINGTON KY	1875-1899	SECOND EMPIRE/ MANSARD	UNDETERMINED
KE 319		JOSPEH KUCHLE HOUSE (DEMOLISHED)	3 KYLES LANE	1900-1924		DEMOLISHED
KECL1005		HOUSE #EL#	1016 JACKSON ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECL1006		HOUSE	1038 JACKSON ST COVINGTON KY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL1007		HOUSE #EL#	1028 LEE COVINGTON			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL1010		HOUSE #EL#	1020 JACKSON COVINGTON			N/R DISTRICT CONTRI. SITE
KECL1011		HOUSE #EL#	1022 JACKSON COVINGTON			N/R DISTRICT CONTRI. SITE
KECL1012		HOUSE	1030 JACKSON COVINGTON KY	1850-1874	OTHER VICTORIAN	DEMOLISHED
KECL1013		HOUSE (DEMOLISHED)	1034 JACKSON COVINGTON KY	1875-1899	ITALIANATE	DEMOLISHED
KECL 979		HOUSE #EL#	817 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 980		HOUSE #EL#	816 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 981		HOUSE #EL#	815 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 982		HOUSE #EL#	813 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 983		HOUSE #EL#	812 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 984		HOUSE #EL#	811 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 985		HOUSE #EL#	809 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 986		HOUSE #EL#	808 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 987		HOUSE #EL#	806 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 988		HOUSE #EL#	804 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 989		HOUSE #EL#	729 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 990		HOUSE #EL#	868 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 991		HOUSE #EL#	863 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 992		HOUSE #EL#	861 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL1002		HOUSE #EL#	808 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL1003		HOUSE #EL#	806 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL1004		HOUSE #EL#	732 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 967		HOUSE #EL#	1223 HERMES ST COVINGTON			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 968		HOUSE #EL#	1244 HERMES ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 969		CARRIAGE HOUSE #EL#	646 W ELEVENTH ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 970		PRINCE OF PEACE SCHOOL/ST JOHN'S #EL#	625-627 PIKE ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 971		RECTORY AT ST JOHN CATHOLIC CHURCH COMPLEX #EL#	625-627 PIKE ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 972		ST JOHN THE EVANGELIST CHURCH #EL#	625-627 PIKE ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 973		HOUSE #EL#	916 MONTAGUE ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 974		HOUSE #EL#	824 CRESCENT AVE			N/R DISTRICT CONTRI. SITE
KECL 975		HOUSE #EL#	822 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 976		HOUSE #EL#	820 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 977		HOUSE #EL#	819 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 978		HOUSE #EL#	818 CRESCENT AVE COVINGTON			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 993		HOUSE #EL#	859 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 994		HOUSE #EL#	857 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 995		HOUSE #EL#	856 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 996		HOUSE #EL#	834 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 997		HOUSE #EL#	828 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 998		HOUSE #EL#	824 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 999		HOUSE #EL#	822 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL1000		HOUSE #EL#	818 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL1001		HOUSE #EL#	814 WESTERN AVE COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 168		COMMERCIAL AND RESIDENCE	650 WEST 12TH STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 169		HOUSE	649 WEST 12TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 170		HOUSE	701 WEST 12TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 171		HOUSE	703 WEST 12TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 172		HOUSE	705 WEST 12TH STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 173		HOUSE	707 WEST 12TH STREET	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 174		HOUSE	710 WEST 12TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 348		HOUSE	931 CHERRY STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 349		HOUSE	929 CHERRY STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 350		HOUSE	923 CHERRY STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 351		HOUSE	917 CHERRY STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 352		HOUSE	911 CHERRY STREET	1925-1949		N/R DISTRICT NON-CONTRIB.
KECL 368		HOUSE	938 CHERRY STREET	1875-1899		NOT REPORTED OR N/A

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 369		HOUSE	933 CHERRY STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 798		HOUSE	241 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 799		HOUSE	239 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 800		HOUSE	237 ROBBINS	1850-1874	VERNACULAR- ANTEBELLUM	N/R DISTRICT CONTRI. SITE
KECL 801		HOUSE	233 ROBBINS	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 802		HOUSE	231 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KE 4		KENNEDY - RIVARD HOMESTEAD	50 RIVARD DRIVE FT WRIGHT KENTUCKY	1850-1874	GREEK REVIVAL	UNDETERMINED
KEFM 6		FORT MITCHELL SITE	1870 DIXIE HIGHWAY	1850-1874		UNDETERMINED
KECL 957		DUPLEX	1029-1031 BRACKEN COURT COVINGTON KY	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 958		HOUSE	235 W ROBBINS ST COVINGTON KY	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 961		HOUSE	1011 JACKSON STREET COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 962		HOUSE	1013 JACKSON STREET COVINGTON KY	1875-1899	UNDETERMINED	N/R DISTRICT CONTRI. SITE
KECL 963		DUPLEX	919 HOLMAN STREET COVINGTON KY	1850-1874	UNDETERMINED	N/R DISTRICT CONTRI. SITE
KECL 964		DUPLEX	1023-1025 HOLMAN STREET COVINGTON KY	1925-1949		N/R DISTRICT CONTRI. SITE
KEC 62		DIXIE WHOLESALE GROCERS BUILDING	35 W 8TH	1900-1924	INDUSTRIAL-TOC	N/R DISTRICT CONTRI. SITE
KEC 63		DIXIE WHOLESALE GROCERS BLDG (WAREHOUSE)	818 WASHINGTON	1900-1924	INDUSTRIAL-TOC	N/R DISTRICT CONTRI. SITE
KEC 50		KENNEY'S CROSSING	1001 HIGHWAY AVE	1875-1899	ITALIANATE	NATIONAL REGISTER
KEC 107		C & O RAILROAD BRIDGE	ACROSS THE OHIO RIVER	1875-1899		UNDETERMINED
KEFM 150		HIGHLAND CEMETERY	2167 DIXIE HIGHWAY	1850-1874	STYLE NOT APPLICABLE	N/R DISTRICT CONTRI. SITE
KEC 131		OTTO AND MYRA WEIDLICH HOUSE	802 WILLARD AVENUE	1875-1899	SECOND EMPIRE/ MANSARD	UNDETERMINED
KECL 20		HOUSE	617 PIKE STREET LEWISBURG	1900-1924	HOMESTEAD	N/R DISTRICT CONTRI. SITE
KECL 21		HOUSE	619 PIKE STREET LEWISBURG	1900-1924	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 25		HOUSE	649 PIKE STREET LEWISBURG	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 26		HOUSE (APARTMENTS)	651 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 27		HOUSE	653 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 28		HOUSE	655 PIKE STREET LEWISBURG	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 29		HOUSE	657 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 30		HOUSE	661 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 31		COMMERCIAL/RESIDENTIAL	701 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 32		HOUSE	612 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 33		HOUSE	656 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 34		COMMERCIAL BUILDING	658 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 35		COMMERCIAL BUILDING	660 PIKE STREET LEWISBURG	1925-1949		N/R DISTRICT NON-CONTRIB.

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 36		BUILDING	662 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 37		COMMERCIAL/RESIDENTIAL BUILDING	664 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 38		HOUSE	702 PIKE STREET LEWISBURG	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE
KECL 39		HOUSE	704 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 40		HOUSE	707 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 41		HOUSE	709 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 42		HOUSE	710 PIKE STREET LEWISBURG	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 43		HOUSE	712 PIKE STREET LEWISBURG	1900-1924	PRAIRIE/ WRIGHTIAN	N/R DISTRICT CONTRI. SITE
KECL 44		COMMERCIAL BUILDING	713 PIKE STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 45		HOUSE	714 PIKE STREET LEWISBURG	1900-1924	PRAIRIE/ WRIGHTIAN	N/R DISTRICT CONTRI. SITE
KECL 46		NEO-KEEN	717 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 47		COMMERCIAL BUILDING AND RESIDENCE	721 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 48		HERB AND THELMA'S	718 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 49		BUILDING	1100 PIKE STREET LEWISBURG	1950-1974	COMMERCIAL- MODERN	DET. ELIG.- OWNER OBJECTS
KECL 50		HOUSE	1101 PIKE STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 51		THE LIVIN' END	1103 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 52		HOUSE	1105 PIKE STREET	1900-1924	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 53		HOUSE	1109 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 54		HOUSE	1112 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 55		HOUSE	1115 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 56		HOUSE	1114-1116 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 57		HOUSE	1118 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	NOT REPORTED OR N/A

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 58		HOUSE	1200 PIKE STREET LEWISBURG	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 59		HOUSE	1202 PIKE STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 60		HOUSE	1206 PIKE STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 61		HOUSE	1208 PIKE STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 62		APARTMENTS	634-636 CRESCENT AVENUE LEWISBURG	1875-1899	CLASSICAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 63		HOUSE	638 CRESCENT AVENUE LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 64		HOUSE	642 CRESCENT AVENUE LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT NON-CONTRIB.
KECL 65		HOUSE	646 CRESCENT AVENUE LEWISBURG	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 66		HOUSE	648 CRESCENT AVENUE LEWISBURG	1875-1899	STICK/EASTLAKE	N/R DISTRICT CONTRI. SITE
KECL 67		HOUSE	650 CRESCENT AVENUE LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 68		HOUSE	716 CRESCENT AVENUE LEWISBURG	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 69		HOUSE	718 CRESCENT AVENUE LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 70		HOUSE	720 CRESCENT AVENUE LEWISBURG	UNDETERMINED		N/R DISTRICT NON-CONTRIB.
KECL 71		HOUSE	802 CRESCENT AVENUE LEWISBURG	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 72		HOUSE	654 CRESCENT AVENUE LEWISBURG	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 73		HOUSE	722 CRESCENT AVENUE LEWISBURG	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 74		OUTBUILDING	724 CRESCENT AVENUE LEWISBURG	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 75		HOUSE	728 CRESCENT AVENUE LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 76		HOUSE	726 CRESCENT STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 77		HOUSE	730 CRESCENT AVENUE LEWISBURG	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 78		HOUSE	732 CRESCENT AVENUE LEWISBURG	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 79		COMMERCIAL BUILDING AND RESIDENCE	1209 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 80		HOUSE	1212 PIKE STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 82		HOUSE	1216 PIKE STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 83		HOUSE	1218 PIKE STREET	1950-1974	COLONIAL REVIVAL	N/R DISTRICT NON-CONTRIB.
KECL 84		HOUSE	1221 PIKE STREET LEWISBURG	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 85		HOUSE	1222 PIKE STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 86		HOUSE	1224 PIKE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 87		HOUSE	1226 PIKE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 88		HOUSE	1228 PIKE STREET LEWISBURG	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE
KECL 89		HOUSE	1230 PIKE STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 90		HOUSE	1232 PIKE STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 91		HOUSE	1234 PIKE STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 92		HOUSE	1229 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 93		HOUSE	1233 PIKE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 94		HOUSE	1239 PIKE STREET	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 95		HOUSE	1245 PIKE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 96		HOUSE	1249 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 97		HOUSE	1251 PIKE STREET	1925-1949	COMMERCIAL- MODERN	N/R DISTRICT NON-CONTRIB.
KECL 98		HOUSE	1253 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 99		HOUSE	1255 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 100		HOUSE	1257 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 101		HOUSE	1261 PIKE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 102		HOUSE	1121 SOUTHGATE STREET (NORTH OF 12TH STREET)	1875-1899	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 103		HOUSE	1201 SOUTHGATE STREET	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 104		HOUSE	1203 SOUTHGATE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 105		HOUSE	1206 SOUTHGATE STREET	1900-1924		N/R DISTRICT CONTRI. SITE
KECL 106		HOUSE	1209 SOUTHGATE STREET	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 107		HOUSE	1208 SOUTHGATE STREET	1950-1974	VERNACULAR- MODERN	N/R DISTRICT NON-CONTRIB.
KECL 108		HOUSE	1211 SOUTHGATE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 109		HOUSE	1217 SOUTHGATE STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 110		HOUSE	1225 SOUTHGATE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 111		HOUSE	1227 SOUTHGATE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 112		HOUSE	1235 SOUTHGATE STREET	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 113		HOUSE	1237 SOUTHGATE STREET	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 114		HOUSE	1232 SOUTHGATE STREET LEWISBURG	1925-1949		N/R DISTRICT NON-CONTRIB.
KECL 115		HOUSE	606 WEST 11TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 116		HOUSE	605 WEST 11TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 117		HOUSE	608 WEST 11TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 118		HOUSE	610 WEST 11TH STREET	1900-1924	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 119		HOUSE	609 WEST 11TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 120		HOUSE	614 WEST 11TH STREET	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 121		HOUSE	611 WEST 11TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 122		HOUSE	613 WEST 11TH STREET	UNDETERMINED		N/R DISTRICT CONTRI. SITE
KECL 123		H H HELLMAN HOUSE	618 WEST 11TH STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 124		HOUSE	615 WEST 11TH STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 125		HOUSE	619 WEST 11TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 126		HOUSE	622 WEST 11TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 127		DUPLEX	621-623 WEST 11TH STREET LEWISBURG	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 128		HOUSE	627 WEST 11TH STREET LEWISBURG	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 129		HOUSE	629 WEST 11TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 130		DUPLEX	631-633 WEST 11TH STREET LEWISBURG	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 131		HOUSE	635 WEST 11TH STREET LEWISBURG	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 132		HOUSE	637 WEST 11TH STREET LEWISBURG	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 133		HOUSE	640 WEST 11TH STREET LEWISBURG	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 134		HOUSE	639 WEST 11TH STREET LEWISBURG	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 135		HOUSE	641 WEST 11TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 136		HOUSE	604 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 137		HOUSE	606 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 138		HOUSE	608 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 139		HOUSE	610 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 140		DUPLEX	612 WEST 12TH STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 141		HOUSE	616 WEST 12TH STREET LEWISBURG	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 142		HOUSE	617 WEST 12THE STREET LEWISBURG	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 143		HOUSE OTTO HOPPLE HOUSE	619 WEST 12TH STREET LEWISBURG	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 144		HOUSE	618 WEST 12TH STREET LEWISBURG	1900-1924	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 145		HOUSE	620 WEST 12TH STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 146		HOUSE	623 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 147		HOUSE	622 WEST 12TH STREET LEWISBURG	1900-1924	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 148		HOUSE	624 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 149		HOUSE	625 WEST 12TH STREET LEWISBURG	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 150		HOUSE	626 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 151		HOUSE	627 WEST 12TH STREET LEWISBURG	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 152		HOUSE	628 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 153		HOUSE	629 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 154		HOUSE	630 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 155		HOUSE	632 WEST 12TH STREET LEWISBURG	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 156		HOUSE	633 WEST 12TH STREET LEWISBURG	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 158		HOUSE	635 WEST 12TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 159		HOUSE	637 WEST 12TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 160		HOUSE	638 WEST 12TH STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 161		HOUSE	639 WEST 12TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 162		HOUSE	641 WEST 12TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 163		HOUSE	640 WEST 12TH STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 164		HOUSE	642 WEST 12TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 165		HOUSE	643 WEST 12TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 166		HOUSE	644 WEST 12TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 167		HOUSE	646 WEST 12TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 168		COMMERCIAL AND RESIDENCE	650 WEST 12TH STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 169		HOUSE	649 WEST 12TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 170		HOUSE	701 WEST 12TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 171		HOUSE	703 WEST 12TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 172		HOUSE	705 WEST 12TH STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 173		HOUSE	707 WEST 12TH STREET	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 174		HOUSE	710 WEST 12TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 176		HOUSE	607 WATKINS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 177		HOUSE	609 WATKINS STREET	1900-1924	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 178		HOUSE	612 WATKINS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 179		HOUSE	611 WATKINS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 180		HOUSE	613 WATKINS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 181		HOUSE	616 WATKINS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 182		HOUSE	618 WATKINS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 183		HOUSE	615 WATKINS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 184		HOUSE	620 WATKINS STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 185		HOUSE	622 WATKINS STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 186		HOUSE	617 WATKINS STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 187		HOUSE	619 WATKINS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 188		HOUSE	621 WATKINS STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 189		HOUSE	623 WATKINS STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 190		HOUSE	624 WATKINS STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 191		HOUSE	626 WATKINS STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KEFM 150	001	HIGHLAND CEMETERY - CHAPEL #EL#	0 DIXIE HWY FORT MITCHELL			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 150	002	HIGHLAND CEMETERY - SUPERINTENDENT'S HOUSE #EL#	0 DIXIE HWY FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 150	003	HIGHLAND CEMTERY - BELL TOWER #EL#	0 DIXIE HWY FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 150	004	HIGHLAND CEMETERY - MAIN ENTRANCE GATE #EL#	0 DIXIE HWY FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 150	005	HIGHLAND CEMETERY - CEMETERY MARKERS #EL#	0 DIXIE HWY FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 150	006	HIGHLAND CEMETERY - LAKES #EL#	0 DIXIE HWY FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 127		WILLIAM GROOM HOUSE	315 SUMMIT LANE FORT MITCHELL KY			N/R DISTRICT CONTRI. SITE
KEFM 199		RIVARD HOUSE #EL#	319 SUMMIT LANE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 207		FRANCIS HANLON HOUSE #EL#	29 RIDGE RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 208		FENIMORE ROUDEBUSH HOUSE #EL#	33 RIDGE RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 209		JOHN MURNAN HOUSE #EL#	34 RIDGE RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 210		A G SIMRALL HOUSE #EL#	104 RIDGE RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 211		JOHN SIMRALL HOUSE #EL#	110 RIDGE RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 212		GEORGE PAXTON DIEHL HOUSE #EL#	118 RIDGE RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 213		COLONEL ROBERT WALLACE HOUSE #EL#	105 RIDGE RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 214		GEORGE ENGEL HOUSE #EL#	121 RIDGE RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 215		HOUSE #EL#	105 IRIS RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 216		GEORGE BLAUVELT HOUSE #EL#	111 IRIS RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 217		JAMES BROWNFIELD HOUSE #EL#	119 IRIS RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 218		HOUSE #EL#	201 IRIS RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 219		ROBERT CRIGLER HOUSE #EL#	324 IRIS RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 220		LOUIS FRITZ HOUSE #EL#	20 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 221		STANLEY ASHBROOK HOUSE #EL#	28 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 277		CARRIAGE HOUSE #EL#	28 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 222		FRED HILKER HOUSE #EL#	36 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 223		CLIFFORD HOMAN HOUSE #EL#	5 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 224		HOUSE #EL#	7 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 225		EDWARD TERRILL HOUSE #EL#	31 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 226		HOUSE #EL#	33 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 227		HOUSE #EL#	35 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 228		JOHN MENZIES HOUSE #EL#	113 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 229		BEN DAVIDSON HOUSE #EL#	112 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 230		CARRIAGE HOUSE #EL#	112 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 231		HOUSE #EL#	219 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 232		EDWARD TAGLAUER HOUSE #EL#	223 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 233		CHARLES PORTER HOUSE #EL#	229 W ORCHARD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 234		LOUIS NUTINI HOUSE #EL#	5 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 235		HOUSE #EL#	7 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 236		THE BILZ HOUSE #EL#	21 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 237		HOUSE #EL#	23 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 238		HOUSE #EL#	25 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 239		HOUSE #EL#	27 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 240		HOUSE #EL#	29 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 241		HARRY WELLING HOUSE #EL#	31 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 242		FRANK ANTHE HOUSE #EL#	33 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 243		HOUSE #EL#	63 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 244		GEORGE SPERTI HOUSE #EL#	2 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 245		DUPLEX #EL#	8-10 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 278		PERGOLA AND GAZEBO #EL#	8 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 246		HOUSE #EL#	12 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 247		HOUSE #EL#	26 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 248		HOUSE #EL#	28 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 249		HOUSE #EL#	30 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 250		HOUSE #EL#	34 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 251		THOMAS THAMES HOUSE #EL#	205 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 252		FRED PIEPER HOUSE #EL#	221 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 253		PHILIP QUEAL HOUSE #EL#	229 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 254		HOUSE #EL#	243 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 255		HOUSE #EL#	245 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 256		HOUSE #EL#	247 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 257		S J B MACKLIN HOUSE #EL#	202 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 258		DILLON-MORWESSEL HOUSE #EL#	212 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 259		BENJAMIN BRAMLAGE HOUSE #EL#	222 FORT MITCHELL AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 260		FRANK EVANS HOUSE #EL#	202 EDGEWOOD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 261		JAMES ADAMS HOUSE #EL#	210 EDGEWOOD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 262		HOUSE #EL#	214 EDGEWOOD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 263		GEORGE CROSBY HOUSE #EL#	224 EDGEWOOD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 264		EDWARD CHAMBERLAIN HOUSE #EL#	232 EDGEWOOD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 265		HOUSE #EL#	234 EDGEWOOD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 266		HOUSE #EL#	238 EDGEWOOD RD FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 267		BERNARD WISSMAN HOUSE #EL#	19 W MAPLE AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 268		JOSEPH BEHLE HOUSE #EL#	33 W MAPLE AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 269		JOHN W BEHLE HOUSE #EL#				N/R DISTRICT CONTRI. SITE
KEFM 270		DUPLEX #EL#	2 W MAPLE AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 271		HOUSE #EL#	8 W MAPLE AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 272		HOUSE #EL#	18 W MAPLE AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 273		LOUIS KIDWELL HOUSE #EL#	20 W MAPLE AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 274		THE REIB HOUSE #EL#	22 W MAPLE AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KEFM 275		BERNARD SCHERDER HOUSE #EL#	30 W MAPLE AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 276		JOHN LANGE HOUSE #EL#	42 W MAPLE AVE FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KEFM 281		HOUSE #EL#	2255 DIXIE HWY FORT MITCHELL			N/R DISTRICT CONTRI. SITE
KECL 192		HOUSE	628 WATKINS STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 193		HOUSE	630 WATKINS STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 194		HOUSE	627 WATKINS STREET	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE
KECL 195		HOUSE	632 WATKINS STREET	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE
KECL 196		HOUSE	629 WATKINS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 197		HOUSE	631 WATKINS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 198		HOUSE	634 WATKINS STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 199		HOUSE	633 WATKINS STREET	1875-1899		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 200		HOUSE	636 WATKINS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 201		HOUSE	635 WATKINS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 202		HOUSE	637 WATKINS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 203		HOUSE	638 WATKINS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 205		HOUSE	1324 HERMES STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 206		HOUSE	1321 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 207		HOUSE	1322 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 208		HOUSE	1320 HERMES STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 209		HOUSE	1319 HERMES STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 210		HOUSE	1318 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 211		HOUSE	1316 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 212		HOUSE	1314 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 214		HOUSE	1312 HERMES STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 215		HOUSE	1313 HERMES STREET	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE
KECL 216		HOUSE	1308 HERMES STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 217		HOUSE	1307 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 218		HOUSE	1305 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 219		HOUSE	1304 HERMES STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 220		HOUSE	1302 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 221		TOWNSEND TREE SERVICE	617 HINDE STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 222		HOUSE	1251 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 223		HOUSE	1252 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 224		HOUSE	1250 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 225		HOUSE	1248 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 226		HOUSE	1247 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 227		HOUSE	1246 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 228		HOUSE	1243 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 229		HOUSE	1244 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 230		HOUSE	1241 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 231		HOUSE	1239 HERMES STREET	1900-1924		N/R DISTRICT CONTRI. SITE
KECL 233		HOUSE	1240 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 234		HOUSE	1237 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 235		HOUSE	1238 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 236		HOUSE	1235 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 237		HOUSE	1231 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 238		HOUSE	1234 HERMES STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 239		HOUSE	1229 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 241		HOUSE	1223 HERMES STREET	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 240		HOUSE	1232 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 242		HOUSE	1221 HERMES STREET AT WATKINS STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 243		HOUSE	1219 HERMES STREET	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 244		HOUSE	1217 HERMES STREET	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 245		HOUSE	1212 HERMES STREET	1925-1949		N/R DISTRICT NON-CONTRIB.
KECL 246		HOUSE	1211-1213 HERMES STREET	1950-1974		N/R DISTRICT NON-CONTRIB.

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 247		HOUSE	1210 HERMES STREET	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 248		HOUSE	1207 HERMES STREET	1925-1949		N/R DISTRICT CONTRI. SITE
KECL 249		HOUSE	1115 HERMES STREET NW CORNER 12TH AND HERMES	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 250		HOUSE	1113 HERMES STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 251		HOUSE	1111 HERMES STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 253		DUPLEX	1107-1109 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 254		HOUSE	1105 HERMES STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 255		HOUSE	1103 HERMES STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 256		HOUSE	1101 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 257		HOUSE	1007 HERMES STREET (FACES ALLEY)	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 258		HOUSE	1010 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 259		HOUSE	711 WEST 12TH STREET	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 260		HOUSE	802 MONTAGUE ROAD	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 261		HOUSE	804 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 262		HOUSE	806 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 263		HOUSE	808 MONTAGUE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 264		HOUSE	810 MONTAGUE STREET	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 265		HOUSE	811 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 266		HOUSE	813 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 267		HOUSE	816 MONTAGUE STREET	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 268		HOUSE	817 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 269		HOUSE	818 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 270		HOUSE	820 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 271		HOUSE	822 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 272		SPARROW CREST	1109 MILTON STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 273		HOUSE	901 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 274		HOUSE	902 MONTAGUE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 275		HOUSE	903 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 276		HOUSE	906 MONTAGUE STREET	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 277		HOUSE	912 MONTAGUE STREET	1875-1899	GOTHIC- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 278		HOUSE	911 MONTAGUE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 279		HOUSE	918 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 280		HOUSE	913 MONTAGUE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 281		HOUSE	920 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 282		HOUSE	922 MONTAGUE STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 283		HOUSE	924 MONTAGUE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 284		HOUSE	926 MONTAGUE STREET AND 931 LEWIS STREET (TWO APARTMENT HOUSE)	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 285		HOUSE	928 MONTAGUE STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 286		HOUSE	930 MONTAGUE STREET	1900-1924		N/R DISTRICT CONTRI. SITE
KECL 287		HOUSE	929 LEWIS STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 288		HOUSE	923 LEWIS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 289		BARN	912 LEWIS STREET (APPROXIMATELY)	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 290		HOUSE	905 LEWIS STREET	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 291		APARTMENT BUILDING (FORMERLY ICE HOUSE)	903 LEWIS STREET (BEHIND 905 LEWIS)	1900-1924		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 292		HOUSE	901 LEWIS STREET (JUST WEST OF WORTH STREET)	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 293		LARGE LOT WITH OUTBLDGS (FORMER SLAUGHTER HOUSE)	BESIDE 901 LEWIS STREET GOING EAST	UNDETERMINED		N/R DISTRICT NON-CONTRIB.
KECL 294		HOUSE	814 LEWIS STREET (NE CORNER WORTH AND LEWIS)	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 295		HOUSE	811 LEWIS STREET	1925-1949	COLONIAL	N/R DISTRICT NON-CONTRIB.
KECL 296		HOUSE	809 LEWIS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 297		HOUSE	807 LEWIS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 298		HOUSE	805 LEWIS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 299		DUPLEX	806-808 LEWIS STREET	1875-1899		NOT REPORTED OR N/A
KECL 300		HOUSE	801 LEWIS STREET (SW CORNER LEWIS AND WESTERN)	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 301		COMMERCIAL AND RESIDENTIAL	734-736 LEWIS STREET (NE CORNER LEWIS AND WESTERN)	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 302		HOUSE	732 LEWIS STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 303		HOUSE	726 LEWIS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 304		DUPLEX	727-729 LEWIS STREET	1900-1924	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 305		HOUSE	725 LEWIS STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 306		HOUSE	723 LEWIS STREET	1875-1899	GOTHIC-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 307		HOUSE	724 LEWIS STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 308		HOUSE	720 LEWIS STREET	1875-1899	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 309		HOUSE	721 LEWIS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 310		HOUSE	719 LEWIS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 311		HOUSE	715 LEWIS STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 312		HOUSE	716 LEWIS STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 313		HOUSE	708 LEWIS STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 314		HOUSE	713 LEWIS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 315		HOUSE	711 LEWIS STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 316		HOUSE	709 LEWIS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 317		HOUSE	707 LEWIS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 318		HOUSE	705 LEWIS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 319		HOUSE	703 LEWIS STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 320		COMMERCIAL/RESIDENTIAL	701 LEWIS STREET (SW CORNER LEWIS AND BAKER)	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 322		HOUSE	628 LEWIS STREET	1900-1924		N/R DISTRICT CONTRI. SITE
KECL 323		HOUSE	626 LEWIS STREET	1900-1924		N/R DISTRICT CONTRI. SITE
KECL 324		HOUSE	624 LEWIS STREET	1900-1924		N/R DISTRICT CONTRI. SITE
KECL 325		HOUSE	622 LEWIS STREET	1900-1924		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 326		HOUSE	620 LEWIS STREET	1900-1924		N/R DISTRICT CONTRI. SITE
KECL 327		HOUSE	934 LEONARD STREET	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 329		HOUSE	927 LEONARD STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 330		HOUSE	930 LEONARD STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 331		HOUSE	928 LEONARD STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 332		HOUSE	925 LEONARD STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 333		HOUSE	926 LEONARD STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 334		HOUSE	923 LEONARD STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 335		HOUSE	922 LEONARD STREET	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 336		HOUSE	921 LEONARD STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 337		HOUSE	920 LEONARD STREET	1925-1949	CRAFTSMAN	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 338		HOUSE	919 LEONARD STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 339		HOUSE	917 LEONARD STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 340		HOUSE	915 LEONARD STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 341		HOUSE	916 LEONARD STREET	1925-1949		N/R DISTRICT CONTRI. SITE
KECL 342		HOUSE	911 LEONARD STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 343		HOUSE	912 LEONARD STREET	1925-1949	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 344		HOUSE	909 LEONARD STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 345		HOUSE	910 LEONARD STREET	UNDETERMINED		N/R DISTRICT NON-CONTRIB.
KECL 346		HOUSE	908 LEONARD STREET	1925-1949		N/R DISTRICT NON-CONTRIB.
KECL 347		HOUSE	907 LEONARD STREET LEWISBURG	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 353		HOUSE	900 WORTH STREET	1950-1974	VERNACULAR- MODERN	N/R DISTRICT NON-CONTRIB.

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 354		HOUSE	902 WORTH STREET	1900-1924	DUTCH COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 355		HOUSE	901 WORTH STREET	1925-1949		N/R DISTRICT NON-CONTRIB.
KECL 356		HOUSE	903 WORTH STREET	1950-1974		N/R DISTRICT NON-CONTRIB.
KECL 357		HOUSE	906 WORTH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 358		HOUSE	908 WORTH STREET	1900-1924	CRAFTSMAN	N/R DISTRICT CONTRI. SITE
KECL 359		HOUSE	907 WORTH STREET	1850-1874	FEDERAL	N/R DISTRICT CONTRI. SITE
KECL 360		HOUSE	911 WORTH STREET NW CORNER WORTH AND LEONARD	1925-1949		N/R DISTRICT CONTRI. SITE
KECL 361		HOUSE	914 WORTH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 362		HOUSE	916 WORTH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 363		HOUSE	919 WORTH STREET SW CORNER WORTH AND LEONARD	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 364		HOUSE	921 WORTH STREET	1875-1899		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 365		HOUSE	923 WORTH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 366		HOUSE	925 WORTH STREET NW CORNER WORTH AND LEWIS	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 367		HOUSE	920 WORTH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 370		PAPAS CANDIES	921 BAKER STREET	1950-1974	INDUSTRIAL-20TH CENT.	N/R DISTRICT NON-CONTRIB.
KECL 371		DIXIE NOVELTY	926 BAKER STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 372		DIXIE NOVELTY	934 BAKER STREET NE CORNER BAKER AND LEWIS	1900-1924	CLASSICAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 373		HOUSE	924 BAKER STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 374		HOUSE	920 BAKER STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 377		HOUSE	916 BAKER STREET	1900-1924		N/R DISTRICT CONTRI. SITE
KECL 378		HOUSE	917 BAKER STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 379		HOUSE	915 BAKER STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 380		HOUSE	912 BAKER STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 381		HOUSE	913 BAKER STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 382		HOUSE	910 BAKER STREET	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 383		HOUSE	908 BAKER STREET	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 384		HOUSE	911 BAKER STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 385		SHED	909 BAKER STREET	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 386		HOUSE	905 BAKER STREET	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 387		HOUSE	901 BAKER STREET	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 388		HOUSE	906 BAKER STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 389		HOUSE	904 BAKER STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 390		HOUSE	639 WEST 9TH STREET	1925-1949		N/R DISTRICT NON-CONTRIB.

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 391		CRESCENT CLUB	641 W 9TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 392		STORAGE BUILDING	643 W 9TH STREET	1950-1974		N/R DISTRICT NON-CONTRIB.
KECL 393		HOUSE	702 W 9TH STREET NW CORNER 9TH AND CRESCENT	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 394		HOUSE	704 WEST 9TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 395		HOUSE	706 W 9TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 396		HOUSE	708 W 9TH STREET	1900-1924		N/R DISTRICT NON-CONTRIB.
KECL 397		HOUSE	707 W 9TH STREET	1925-1949		N/R DISTRICT NON-CONTRIB.
KECL 398		HOUSE	710 W 9TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 399		HOUSE	714 W 9TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 400		HOUSE	716 W 9TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 401		HOUSE	720 W 9TH STREET	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 402		HOUSE	719 W 9TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 403		HOUSE	724 W 9TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 404		HOUSE	728 W 9TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 405		HOUSE	730 W 9TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 406		HOUSE	723 W 9TH STREET	1900-1924		N/R DISTRICT CONTRI. SITE
KECL 407		HOUSE	872 CRESCENT AVENUE	1875-1899	UNDETERMINED	N/R DISTRICT CONTRI. SITE
KECL 408		HOUSE	870 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 409		HOUSE	868 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 410		HOUSE	866 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 411		HOUSE	862 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 412		HOUSE	861 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 413		HOUSE	859 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 414		HOUSE	857 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 415		HOUSE	860 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 416		HOUSE	858 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 417		HOUSE	856 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 418		HOUSE	854 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT NON-CONTRIB.
KECL 419		HOUSE	852 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 420		HOUSE	853 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 421		HOUSE	851 CRESCENT AVENUE	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 424		HOUSE	849 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 425		HOUSE	963 WESTERN AVENUE	1850-1874		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 426		HOUSE	961 WESTERN AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 427		HOUSE	959 WESTERN AVENUE	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 428		THE FIXZIT MAN	955 WESTERN AVENUE	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 429		HOUSE	958 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 430		HOUSE	956 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 431		HOUSE	954 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 432		HOUSE	952 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 433		HOUSE	950 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 434		HOUSE	948 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 435		HOUSE	946 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 436		STORE	942 WESTERN AVENUE SE CORNER WESTERN AND LEWIS	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 437		HOUSE	935 WESTERN AVENUE NW CORNER WESTERN AND LEWIS	1900-1924	CRAFTSMAN	N/R DISTRICT NON-CONTRIB.
KECL 438		HOUSE	931-933 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 439		HOUSE	929 WESTERN AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 900		HOUSE	930 WESTERN AVENUE	1875-1899	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 901		HOUSE	927 WESTERN AVENUE	1875-1899	COLONIAL REVIVAL	N/R DISTRICT NON-CONTRIB.
KECL 442		HOUSE	925 WESTERN AVENUE	1875-1899	COLONIAL REVIVAL	N/R DISTRICT NON-CONTRIB.
KECL 443		APARTMENT BUILDING	922 WESTERN AVENUE	1950-1974		N/R DISTRICT NON-CONTRIB.
KECL 444		HOUSE	923 WESTERN AVENUE	1875-1899	ITALIANATE	N/R DISTRICT NON-CONTRIB.
KECL 475		HOUSE	855 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 474		HOUSE	625 W 11TH STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 445		HOUSE	921 WESTERN AVENUE	1900-1924	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 446		HOUSE	919 WESTERN AVENUE	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE
KECL 447		HOUSE	917 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 448		HOUSE	915 WESTERN AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 449		HOUSE	916 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 450		HOUSE	913 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 451		HOUSE	914 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 452		HOUSE	909 WESTERN AVENUE	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 453		HOUSE	908 WESTERN AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 454		HOUSE	901 WESTERN AVENUE	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 455		HOUSE	905 WESTERN AVENUE	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 456		HOUSE	902 WESTERN AVENUE	1850-1874		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 457		HOUSE	899 WESTERN AVENUE	1850-1874		N/R DISTRICT NON-CONTRIB.
KECL 458		HOUSE	904 WESTERN AVENUE	1850-1874		N/R DISTRICT CONTRI. SITE
KECL 460		HOUSE	850 CRESCENT AVENUE	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 461		HOUSE	848 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 462		HOUSE	847 CRESCENT AVENUE	1875-1899	COLONIAL REVIVAL	N/R DISTRICT NON-CONTRIB.
KECL 463		HOUSE	846 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 464		HOUSE	844 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 465		HOUSE	838 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 466		HOUSE	837 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 467		HOUSE	836 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 468		HOUSE	834 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 469		HOUSE	833 CRESCENT AVENUE	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 470		HOUSE	832 CRESCENT AVENUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 471		HOUSE	831 CRESCENT AVENUE	1875-1899		N/R DISTRICT NON-CONTRIB.
KECL 472		HOUSE	829 CRESCENT AVENUE	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 473		HOUSE	825 CRESCENT AVENUE	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE
KECL 476		HOUSE	1236 HERMES STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 478		HOUSE	704 W 12TH STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 480		HOUSE	1213 LEE STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 482		HOUSE	1201 LEE	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 483		HOUSE	1205 LEE	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 487		HOUSE	1006 LEE	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 488		HOUSE	1008 LEE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 489		HOUSE	1016 LEE STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 490		HOUSE	1020 LEE STREET	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 491		HOUSE	1024 LEE STREET	1900-1924	CRAFTSMAN	NOT REPORTED OR N/A
KECL 492		HOUSE	1030 LEE STREET	1850-1874	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 494		HOUSE	1038 LEE STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 495		HOUSE	1040 LEE STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 496		HOUSE	1039 LEE STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 497		HOUSE	1037 LEE STREET	1850-1874	VERNACULAR-VICTORIAN	NOT REPORTED OR N/A
KECL 498		HOUSE	1035 LEE STREET	1875-1899	GOTHIC-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 499		HOUSE	1033 LEE STREET	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 500		STORE	1201 MAIN STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 501		STORE	1221 MAIN STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 493		HOUSE	1036 LEE STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 502		HOUSE	1223 MAIN STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 503		HOUSE	1012 JACKSON	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 504		HOUSE	1014 JACKSON	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 505		HOUSE	1034 JACKSON	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 529		HOUSE	307 ROBBINS	1875-1899	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 530		HOUSE	309 ROBBINS	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 531		HOUSE	311 ROBBINS	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 514		HOUSE	538 REIDLIN STREET	1900-1924	CRAFTSMAN	NOT REPORTED OR N/A

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 515		HOUSE	542 REIDLIN STREET	1900-1924	CRAFTSMAN	NOT REPORTED OR N/A
KECL 516		HOUSE	410 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 517		HOUSE	412 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 518		HOUSE	414 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 519		HOUSE	416 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 520		HOUSE	418 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 521		HOUSE	420 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 522		HOUSE	422 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 523		HOUSE	424 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 524		HOUSE	421 LEHMER STREET	1900-1924	VERNACULAR-TOC	NOT REPORTED OR N/A
KECL 525		HOUSE	423 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 526		HOUSE	425 LEHMER STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 527		HOUSE	301 ROBBINS	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 528		HOUSE	305 ROBBINS	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 532		HOUSE	315 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 533		HOUSE	313 ROBBINS	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 534		HOUSE	317 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 535		HOUSE	319 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 536		HOUSE	323 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 537		HOUSE	302 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 538		HOUSE	306 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 539		HOUSE	308 ROBBINS	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 540		HOUSE	310 ROBBINS	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 541		HOUSE	312 ROBBINS	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 542		HOUSE	318 ROBBINS	1875-1899	SECOND EMPIRE/MANSARD	N/R DISTRICT CONTRI. SITE
KECL 543		HOUSE	322 ROBBINS	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 544		HOUSE	330 ROBBINS	1875-1899	PRINCESS ANNE	N/R DISTRICT CONTRI. SITE
KECL 545		HOUSE	332 ROBBINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 546		HOUSE	1102 MAIN STREET	1900-1924	AMERICAN FOURSQUARE	NOT REPORTED OR N/A
KECL 547		HOUSE	1104 MAIN STREET	1900-1924	TUDOR REVIVAL	NOT REPORTED OR N/A
KECL 548		HOUSE	1108 MAIN STREET	1900-1924	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 549		HOUSE	1110 MAIN STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 550		HOUSE	1112 MAIN STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 551		HOUSE	1114 MAIN STREET	1900-1924	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 552		HOUSE	1120 MAIN STREET	1875-1899	PRINCESS ANNE	N/R DISTRICT CONTRI. SITE
KECL 553		HOUSE	1122 MAIN STREET	1875-1899	PRINCESS ANNE	N/R DISTRICT CONTRI. SITE
KECL 554		HOUSE	1124 MAIN STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 555		HOUSE	1132 MAIN STREET	1875-1899	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 577		HOUSE	1100 LEE	1875-1899	SECOND EMPIRE/MANSARD	N/R DISTRICT CONTRI. SITE
KECL 578		HOUSE	1105 LEE	1900-1924	AMERICAN FOURSQUARE	NOT REPORTED OR N/A
KECL 588		HOUSE	409 ELEVENTH	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 589		HOUSE	411 ELEVENTH	1875-1899	PRINCESS ANNE	N/R DISTRICT CONTRI. SITE
KECL 590		HOUSE	413 ELEVENTH	1875-1899	PRINCESS ANNE	N/R DISTRICT CONTRI. SITE
KECL 591		HOUSE	415 ELEVENTH	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 592		HOUSE	419 ELEVENTH	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 593		HOUSE	421 ELEVENTH	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 595		HOUSE	307 BERRY	1875-1899	CLASSICAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 596		HOUSE	310 BERRY	1875-1899	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 597		HOUSE	312 BERRY	1875-1899	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 598		HOUSE	314 BERRY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 599		HOUSE	316 BERRY	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 600		HOUSE	318 BERRY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 601		HOUSE	320 BERRY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 602		HOUSE	508 WATKINS	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 603		HOUSE	510 WATKINS	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 604		HOUSE	512 WATKINS	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 605		HOUSE	516 WATKINS	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 606		HOUSE	518 WATKINS	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 607		HOUSE	522 WATKINS	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 608		HOUSE	540 WATKINS	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 609		HOUSE	538 WATKINS	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 610		HOUSE	536 WATKINS	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 611		HOUSE	532 WATKINS	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 612		HOUSE	530 WATKINS	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 613		HOUSE	511 WATKINS	1875-1899	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 614		HOUSE	517 WATKINS	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 615		HOUSE	521 WATKINS	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 616		HOUSE	523 WATKINS	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 617		HOUSE	527 WATKINS	1900-1924	AMERICAN FOURSQUARE	NOT REPORTED OR N/A
KECL 618		HOUSE	529 WATKINS	1900-1924	VERNACULAR-TOC	NOT REPORTED OR N/A
KECL 619		HOUSE	535 WATKINS	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE
KECL 620		HOUSE	409 WATKINS	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 621		HOUSE	504 WEST TWELFTH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 622		HOUSE	412 WATKINS	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 623		HOUSE	416 WATKINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 624		HOUSE	418 WATKINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 625		HOUSE	426 WATKINS	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 626		HOUSE	514 TWELFTH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 627		HOUSE	515 TWELFTH	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 628		HOUSE	516 TWELFTH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 629		HOUSE	519 TWELFTH	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 630		HOUSE	520 TWELFTH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 631		HOUSE	521 TWELFTH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 632		HOUSE	523 TWELFTH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 633		HOUSE	525 TWELFTH	1900-1924	DUTCH COLONIAL REVIVAL	NOT REPORTED OR N/A
KECL 634		HOUSE	527 12TH	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 635		HOUSE	531 12TH	1900-1924	DUTCH COLONIAL REVIVAL	NOT REPORTED OR N/A
KECL 664		HOUSE	1104 LOCUST	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 665		HOUSE	420 13TH STREET	1875-1899	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 666		HOUSE	422 13TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 667		HOUSE	424 13TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 668		HOUSE	426 13TH STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 673		HOUSE	428 13TH STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 675		HOUSE	1105 HOLMAN STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 676		HOUSE	1107 HOLMAN	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 677		HOUSE	1109 HOLMAN	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 678		HOUSE	1111 HOLMAN	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 679		HOUSE	1113 HOLMAN	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 683		HOUSE	502 13TH STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 684		HOUSE	510-512 13TH STREET	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 685		HOUSE	514 13TH STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 686		HOUSE	516 13TH STREET	1850-1874	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 687		HOUSE	518 13TH STREET	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 688		HOUSE	520 13TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 689		HOUSE	524 13TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 690		HOUSE	526 13TH STREET	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE
KECL 691		HOUSE	530 13TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 692		HOUSE	536 13TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 693		HOUSE	527 13TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 694		HOUSE	529 13TH STREET	1900-1924	VERNACULAR-TOC	NOT REPORTED OR N/A

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 695		HOUSE	531 13TH STREET	1875-1899	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 696		HOUSE	535 13TH STREET	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 697		HOUSE	430 WATKINS	1900-1924	VERNACULAR-TOC	NOT REPORTED OR N/A
KECL 698		HOUSE	1309 KAVANAUGH	1875-1899	ITALIANATE	DEMOLISHED
KECL 699		HOUSE	502 PRAGUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 700		HOUSE	504 PRAGUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 701		HOUSE	508 PRAGUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 702		HOUSE	505 PRAGUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 703		HOUSE	509 PRAGUE	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 704		HOUSE	511 PRAGUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 705		HOUSE	513 PRAGUE	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 706		HOUSE	515 PRAGUE	1900-1924	VERNACULAR-TOC	NOT REPORTED OR N/A
KECL 707		HOUSE	502 W 14TH STREET	1900-1924	VERNACULAR-TOC	NOT REPORTED OR N/A
KECL 708		HOUSE	514 W 14TH STREET	1900-1924	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 709		HOUSE	516 W 14TH STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 710		HOUSE	518 W FOURTEENTH	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 711		HOUSE	521 W 14TH STREET	1900-1924	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 712		HOUSE	511 14TH STREET	1875-1899	PRINCESS ANNE	N/R DISTRICT CONTRI. SITE
KECL 713		HOUSE	509 14TH STREET	1900-1924	VERNACULAR-TOC	NOT REPORTED OR N/A
KECL 714		HOUSE	507 14TH STREET	1900-1924	VERNACULAR-TOC	NOT REPORTED OR N/A
KECL 715		HOUSE	503 14TH STREET	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 716		HOUSE	501 14TH STREET	1875-1899	SECOND EMPIRE/ MANSARD	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 717		HOUSE	1413 KAVANAUGH	1875-1899	QUEEN ANNE	N/R DISTRICT CONTRI. SITE
KECL 718		HOUSE	1419 KAVANAUGH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 719		HOUSE	520 MONTEREY	1900-1924	VERNACULAR-TOC	NOT REPORTED OR N/A
KECL 720		HOUSE	510 MONTEREY	1875-1899	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 725		HOUSE	1507 KAVANAUGH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 726		HOUSE	1509 KAVANAUGH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 727		HOUSE	1511 KAVANAUGH	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 775		HOUSE (DEMOLISHED)	1116 HOLMAN AVE COVINGTON KY	1875-1899	ITALIANATE	DEMOLISHED
KECL 776		HOUSE	1114 HOLMAN	1875-1899	ITALIANATE	SUGGESTED N/R GROUP
KECL 777		HOUSE	1112 HOLMAN	1875-1899	VERNACULAR-VICTORIAN	SUGGESTED N/R GROUP
KECL 778		HOUSE	1110 HOLMAN	1875-1899	VERNACULAR-VICTORIAN	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 787		HOUSE	1104 HOLMAN	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 779		HOUSE	1108 HOLMAN	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 786		HOUSE	1106 HOLMAN	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 788		HOUSE	1102 HOLMAN	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 789		HOUSE	232 BERRY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 790		HOUSE	230 BERRY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 791		HOUSE	228 BERRY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 792		HOUSE	226 BERRY	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 793		HOUSE	222 BERRY	1850-1874	VERNACULAR- VICTORIAN	DET. ELIG.- OWNER OBJECTS SUGGESTED N/ R GROUP
KECL 794		RED CROSS BUILDING	1103 BANKLICK	1800-1824	FEDERAL	SUGGESTED N/ R GROUP
KECL 815		THE BAVARIAN BREWING COMPANY ALSO DEGLOW & CO	522-536 WEST 12TH STREET	1850-1874	INDUSTRIAL- VICTORIAN	SUGGESTED N/ R GROUP

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 816		GLIER'S MEATS	511-519 WEST 11TH STREET	1875-1899	RICHARDSONIAN ROMANESQUE	SUGGESTED N/ R GROUP
KECL 817		BOEHMER DECORATING CENTER	533 PIKE STREET	1850-1874	INDUSTRIAL- VICTORIAN	N/R DISTRICT NON-CONTRIB.
KECL 854		WHITE CASTLE	441 PIKE STREET	1925-1949	COMMERCIAL- MODERN	UNDETERMINED
KECL 864		C & C MORTUARY SERVICE	515 PIKE	1900-1924	OTHER 20TH CENTURY	NOT REPORTED OR N/A
KECL 899		GARAGES	863 CRESCENT	1900-1924		UNDETERMINED
KECL 902		HOUSE	918 LEONARD STREET LEWISBURG KY	1925-1949		N/R DISTRICT CONTRI. SITE
KECL 903		GARAGE AND STORAGE BUILDING	BETWEEN 905 AND 930 LEONARD ST (??) LEWISBURG KY	UNDETERMINED		NOT REPORTED OR N/A
KECL 157		HOUSE	634 W 12TH STREET LEWISBURG KY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 904		HOUSE	636 WEST 12TH STREET LEWISBURG KY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 905		COMMERCIAL BUILDING	419 PIKE	1875-1899	COMMERCIAL-TOC	NOT REPORTED OR N/A
KECL 914		COMMERCIAL BLDG	411 PIKE STREET LEWISBURG KY	1875-1899	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 906		DUPLEX	538 AND 540 12TH STREET LEWISBURG KY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 915		HOUSE	529 12TH STREET LEWISBURG KY	1875-1899	VERNACULAR-TOC	N/R DISTRICT CONTRI. SITE
KECL 907		HOUSE	428 WATKINS LEWISBURG KY	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 916		HOUSE	513 12TH STREET LEWISBURG KY	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 908		HOUSE	424 WATKINS LEWISBURG KY	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 910		HOUSE	414 WATKINS LEWISBURG KY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 919		HOUSE	507 TWELFTH ST LEWISBURG KY	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 917		COMMERCIAL BUILDING	511 TWELFTH ST LEWISBURG KY	1850-1874	COMMERCIAL- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 909		HOUSE	422 WATKINS LEWISBURG KY	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECL 918		HOUSE	510 TWELFTH ST LEWISBURG KY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 321		HOUSE	630 LEWIS STREET LEWISBURG KY	1900-1924		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 911		WAREHOUSE/GARAGE	632 LEWIS STREET LEWISBURG KY	1950-1974	INTERNATIONAL	N/R DISTRICT NON-CONTRIB.
KECL 912		COMMERCIAL/RESIDENTIAL BUILDING	639 WATKINS STREET LEWISBURG KY	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 204		HOUSE	1325 HERMES STREET LEWISBURG KY	1900-1924	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 913		HOUSE	1214 PIKE STREET LEWISBURG KY	1925-1949		N/R DISTRICT NON-CONTRIB.
KECL 81		HOUSE	1213 PIKE STREET LEWISBURG KY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 921		HOUSE	304 BERRY COVINGTON KY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 922		HOUSE	306 BERRY COVINGTON KY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 923		HOUSE	308 BERRY COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 924		COMMERCIAL/RESIDENTIAL BUILDING	313 BERRY COVINGTON KY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 926		HOUSE	1101 HOLMAN COVINGTON KY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 927		HOUSE	1103 HOLMAN COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 925		HOUSE	1029-31 BRACKEN COURT COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 932		HOUSE	1009 JACKSON COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 933		HOUSE	1010 JACKSON COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 947		HOUSE	1103-1105 LOCUST ST COVINGTON KY	1825-1849	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 948		HOUSE	1108 LOCUST COVINGTON KY	1825-1849	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 935		HOUSE	1018 LEE COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 936		HOUSE	1026 LEE COVINGTON KY	1850-1874	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECL 937		HOUSE	1102 LEE COVINGTON KY	1875-1899	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 938		HOUSE	1104-1106 LEE COVINGTON KY	1825-1849	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 949		HOUSE (DEMOLISHED)	1109 LOCUST ST COVINGTON KY	1825-1849	GREEK REVIVAL	DEMOLISHED
KECL 950		HOUSE	1110 LOCUST COVINGTON KY	1825-1849	GREEK REVIVAL	N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECL 951		HOUSE	1111-1113-1115-1117 LOCUST COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 955		HOUSE	243 W ROBBINS COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 956		HOUSE	324-326 W ROBBINS COVINGTON KY	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 486		STORE	ELEVENTH AND LEE	1900-1924	TUDOR REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 477		HOUSE	IN ALLEY BETWEEN 600 BLOCK 11TH AND W 12TH STREETS	1850-1874	GOTHIC REVIVAL	N/R DISTRICT CONTRI. SITE
KEFM 103		KRUEMPelman FARM	24 RIDGE RD	1875-1899	VERNACULAR-TOC	NATIONAL REGISTER
KEFW 5		HOUSE	3 KYLES LANE FT WRIGHT KY	1850-1874	OTHER EARLY REPUBLIC	UNDETERMINED
KECB 13		GARAGE (SEE ALSO KEC-61)	23-25 W 8TH COVINGTON KY	1925-1949	COMMERCIAL-20TH CENT.	N/R DISTRICT CONTRI. SITE
KECB 14		HOUSE (AUTOBODY SHP-AFT CA 1930 ADDN) (ALS KEC-60)	19 W 8TH COVINGTON KY	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT NON-CONTRIB.
KECB 15		2 FAMILY HOUSE (SEE ALSO KEC-59)	15 W 8TH & 17 COVINGTON KY	1850-1874	VERNACULAR- VICTORIAN	N/R DISTRICT CONTRI. SITE
KECB 17		GARAGE (SEE ALSO KEC-65)	16 W 9TH COVINGTON KY	1950-1974	INDUSTRIAL-20TH CENT.	N/R DISTRICT NON-CONTRIB.

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECB 18		WAREHOUSE (SEE ALSO KEC-64)	18 W 9TH & 20 COVINGTON KY	1950-1974	INDUSTRIAL-20TH CENT.	N/R DISTRICT NON-CONTRIB.
KECB 19		HOUSE (SEE ALSO KEC-66)	14 W 9TH COVINGTON KY	1875-1899	ITALIANATE	N/R DISTRICT CONTRI. SITE
KECB 37		AUTOMOBILE SERVICE STATION (ALSO KEC-57) (DEMOLI)	732 WASHINGTON ST (34 W 8TH ST) COVINGTON KY	1925-1949	COMMERCIAL-MODERN	DEMOL FR ND,NN
KE 334		COMMERCIAL BLDG	137-139 W PIKE ST	1900-1924	ITALIANATE	DEMOLISHED
KE 335		COMMERCIAL BLDG	129-133 W PIKE ST	1900-1924	ITALIANATE	DEMOLISHED
KE 336		COMMERCIAL BLDG	125 W PIKE ST	1900-1924	ITALIANATE	DEMOLISHED
KE 337		COMMERCIAL BLDG	121-123 W PIKE ST	1900-1924	ITALIANATE	DEMOLISHED
KE 338		COMMERCIAL BLDG	117-119 W PIKE ST	1900-1924	ITALIANATE	DEMOLISHED
KECC 18		HOUSE	501 JOHNSON ST COVINGTON KY	1875-1899	ITALIANATE	UNDETERMINED
KECC 19		HOUSE	505 JOHNSON ST COVINGTON KY	1875-1899	ITALIANATE	UNDETERMINED
KECC 11		HOUSE #EL#	202-208 ATHEY ST COVINGTON			N/R DISTRICT CONTRI. SITE

HISTORIC RESOURCES

Site #	Sub #	Historic Name	Location	Est. Year	Style	Status
KECC 12		HOUSE #EL#	210 ATHEY ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECC 13		HOUSE #EL#	222-224 ATHEY ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECC 14		HOUSE #EL#	226-228 ATHEY ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECC 15		HOUSE #EL#	215-217 ATHEY ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECC 16		HOUSE #EL#	211-213 ATHEY ST COVINGTON			N/R DISTRICT CONTRI. SITE
KECL 375		HOUSE	645 LAUREL STREET	1875-1899		N/R DISTRICT CONTRI. SITE
KECL 376		STANDARD CLUB	623 LAUREL STREET	1875-1899	COLONIAL REVIVAL	N/R DISTRICT CONTRI. SITE
KECL 175		BARN	600 BLOCK ALVIN ALLEY	1875-1899		N/R DISTRICT CONTRI. SITE

LARGE NATIONAL REGISTER

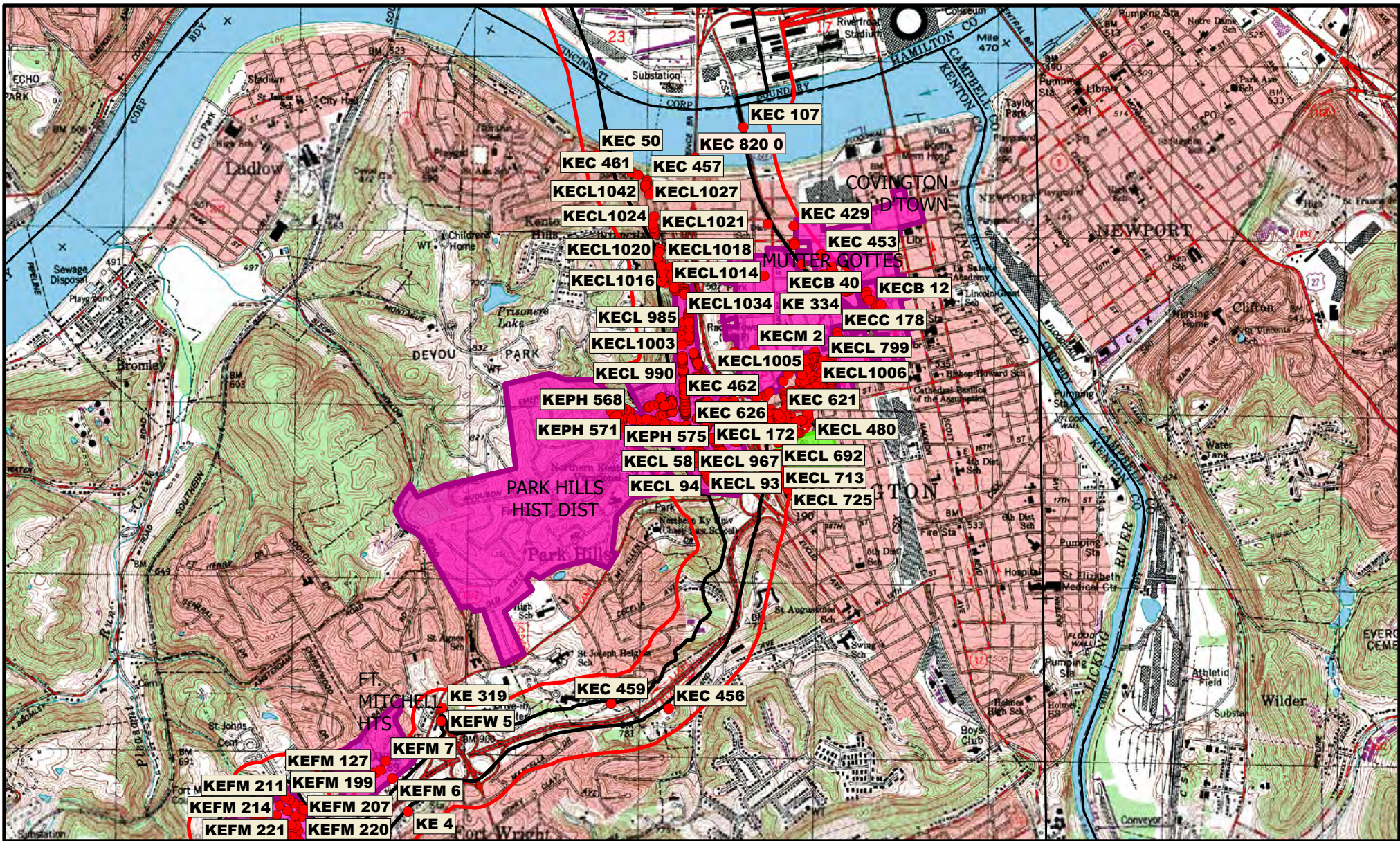
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KEC 8		LINDEN GROVE CEMETERY	13TH TO 15TH TO KAVNAUGH	UNDETERMINED	STYLE NOT APPLICABLE











NATIONAL REGISTER DISTRICTS

NR Ref. #	District Name
7001252	PARK HILLS HISTORIC DISTRICT
83002804	COVINGTON DOWNTOWN COMMERCIAL HISTORIC DISTRICT
96000798	LEE--HOLMAN HISTORIC DISTRICT
93001165	LEWISBURG HISTORIC DISTRICT
80004499	MUTTER GOTTES HISTORIC DISTRICT
80001647	SEMINARY SQUARE HISTORIC DISTRICT
83003650	WEST SIDE-MAIN STRASSE HISTORIC DISTRICT
89001170	OLD FORT MITCHELL HISTORIC DISTRICT
89001169	FORT MITCHELL HEIGHTS HISTORIC DISTRICT
89001168	BEECHWOOD HISTORIC DISTRICT
89001585	HIGHLAND CEMETERY HISTORIC DISTRICT
91000457	COVINGTON DOWNTOWN COMMERCIAL HISTORIC DISTRICT (BOUNDARY INCREASE)

EASEMENTS

Name	Large Easement	Address
FLANNERY BUILDING	COVINGTON 12TH STREET	1201 MAIN STREET
LUBBER HOUSE	COVINGTON 12TH STREET	1205 LEE STREET





 Coded Historic Properties	 Group Boundaries	 Easements
 KHC Historic Resources	 National Register Districts	 Submitted Project Boundaries
 KHC Resource Entry	 Large National Register Property Boundaries	 Area of Potential Effect
 KHC Linear Resources		

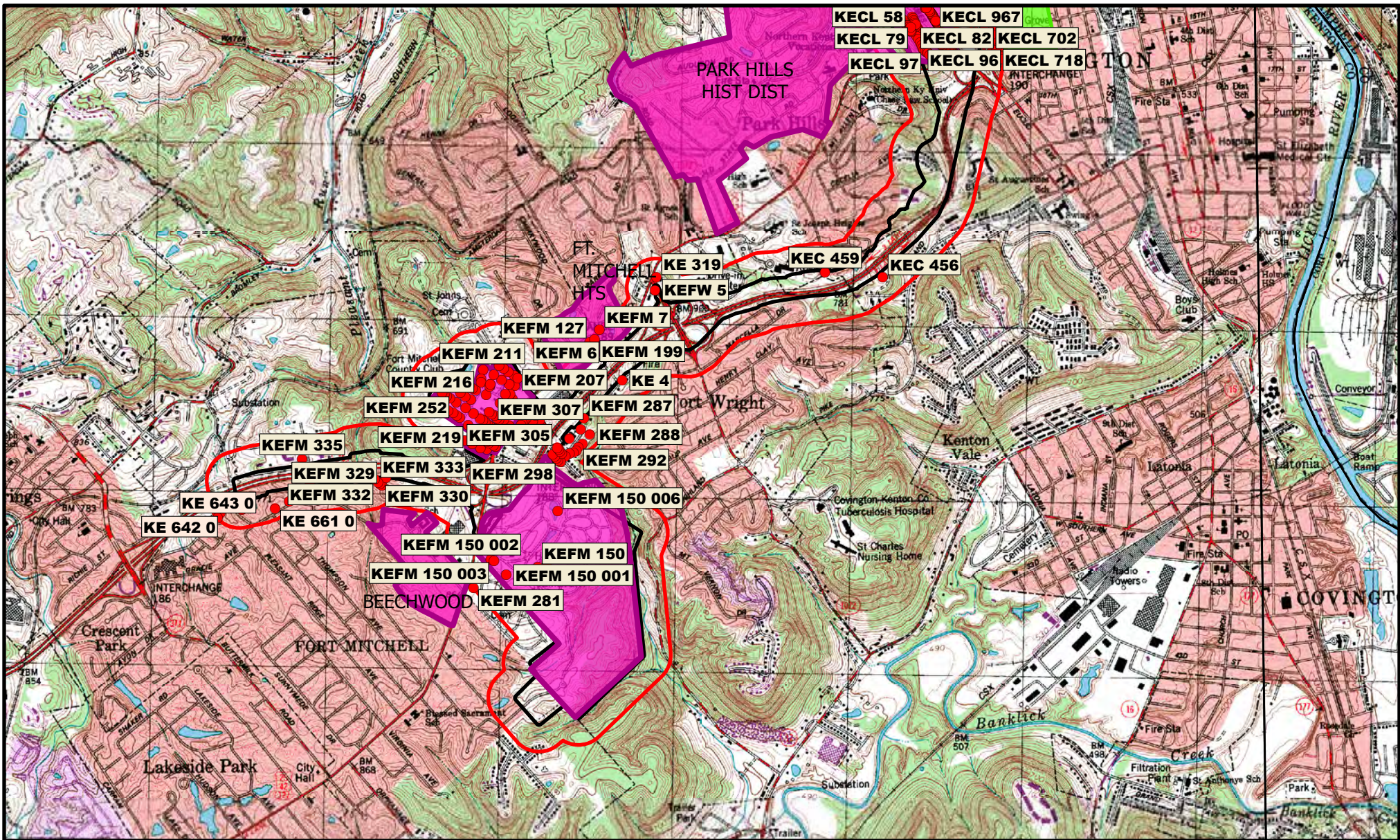
Kentucky Heritage Council
Site Identification Program
 410 High Street, Frankfort, KY 40601

Confidential Information Not for Public Release

Note: this information report does not constitute Section 106 consultation or "clearance" from the KHC/SHPO

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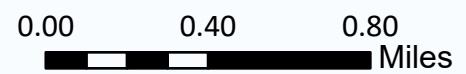
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- KHC Historic Resources
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- - - KHC Linear Resources
- Group Boundaries
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- Large National Register Property Boundaries
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Cultural Historic Survey

Brent Spence Bridge Renewal

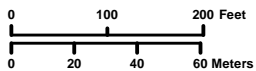
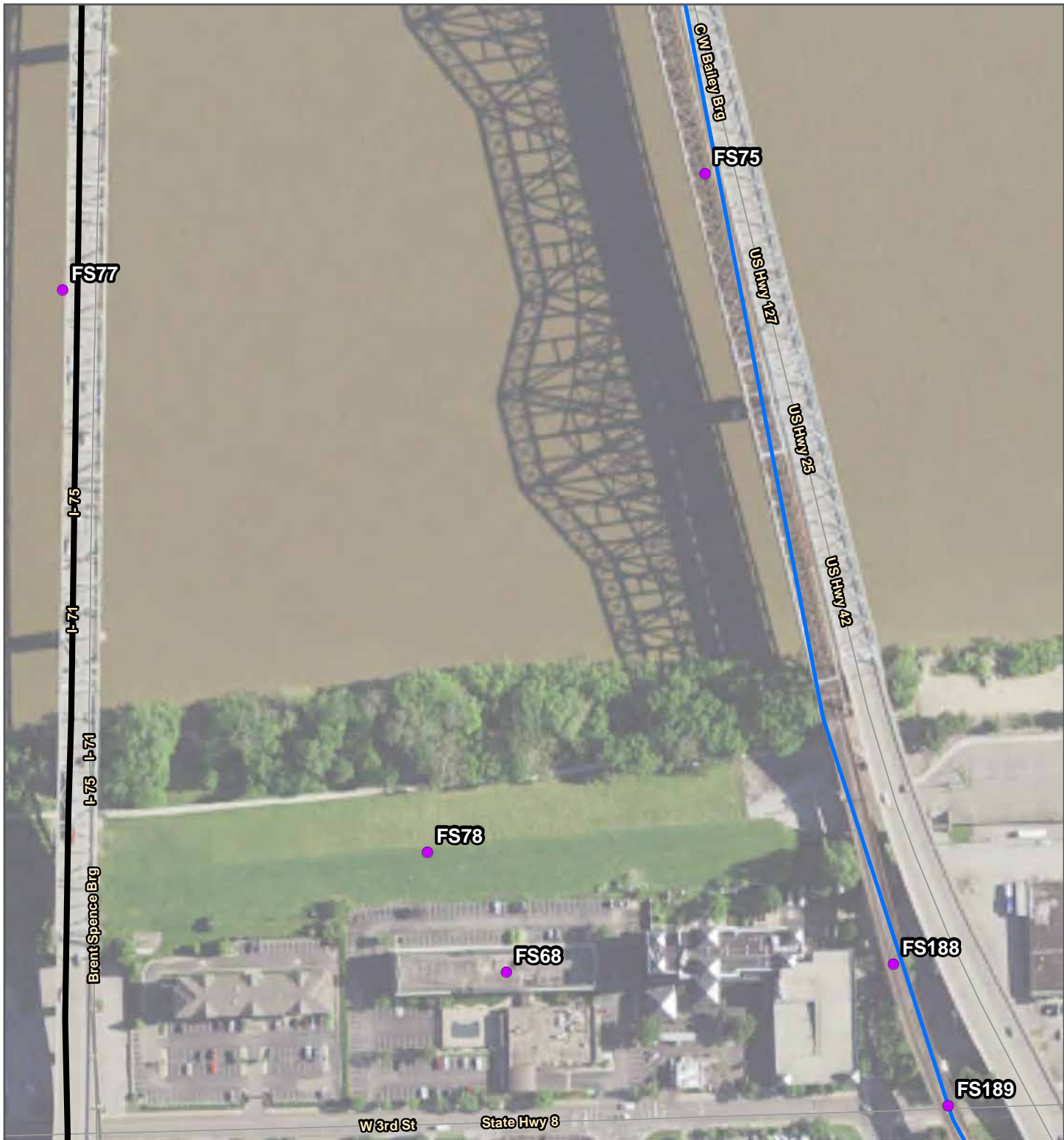
Field Survey Results

Kenton County, Kentucky

APPENDIX

B

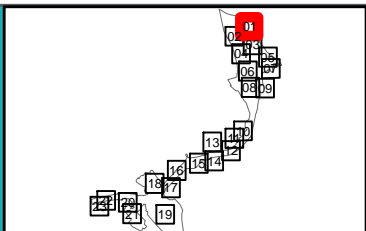
Field Survey Maps



- Field Site
- ▭ Direct APE
- Project Location (I-75/71)

7.5' Quadrangle:
COVINGTON

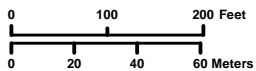
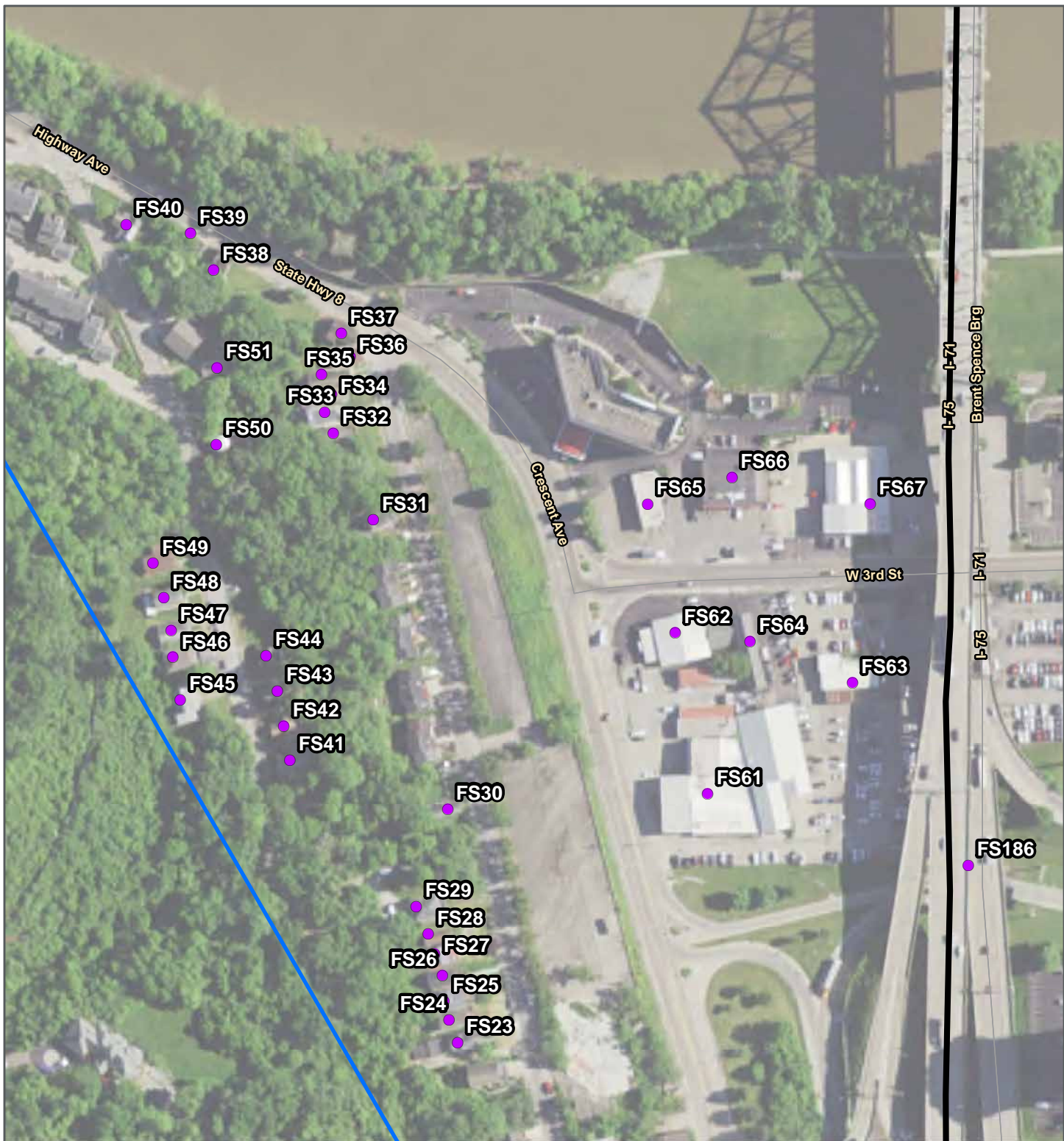
Project No.
j202063m26
238100739



Field Survey Sites
Page 1 of 23
Brent Spence Bridge Renewal Project (6-17)
Covington, Kenton County, Kentucky



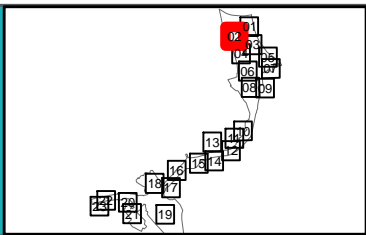
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COVINGTON

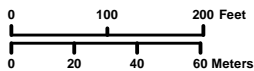
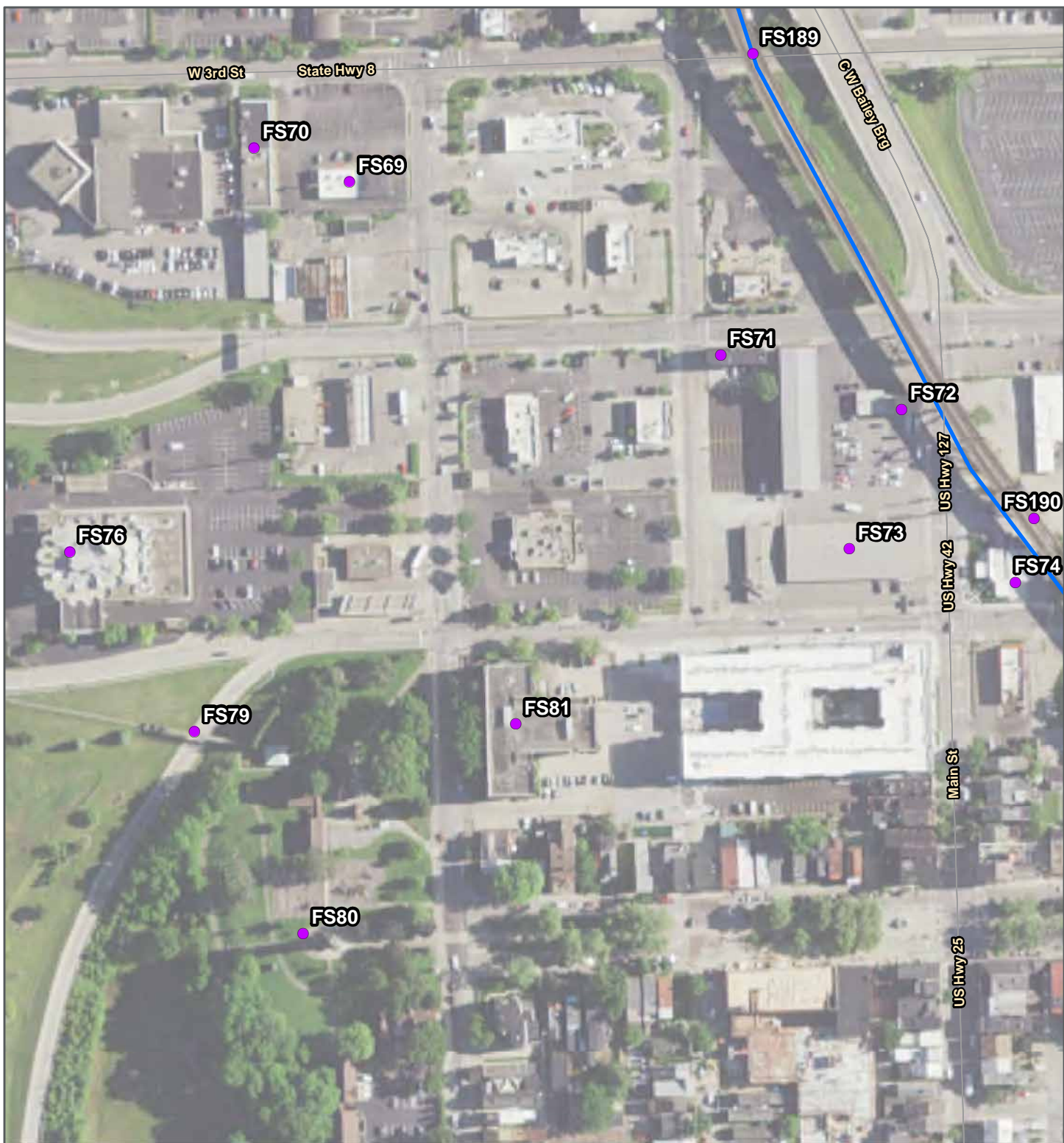
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Field Survey Sites
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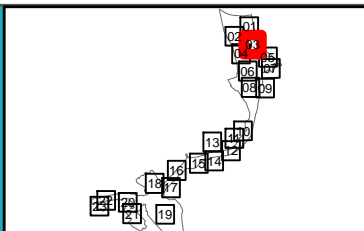


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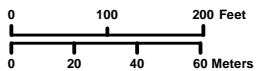
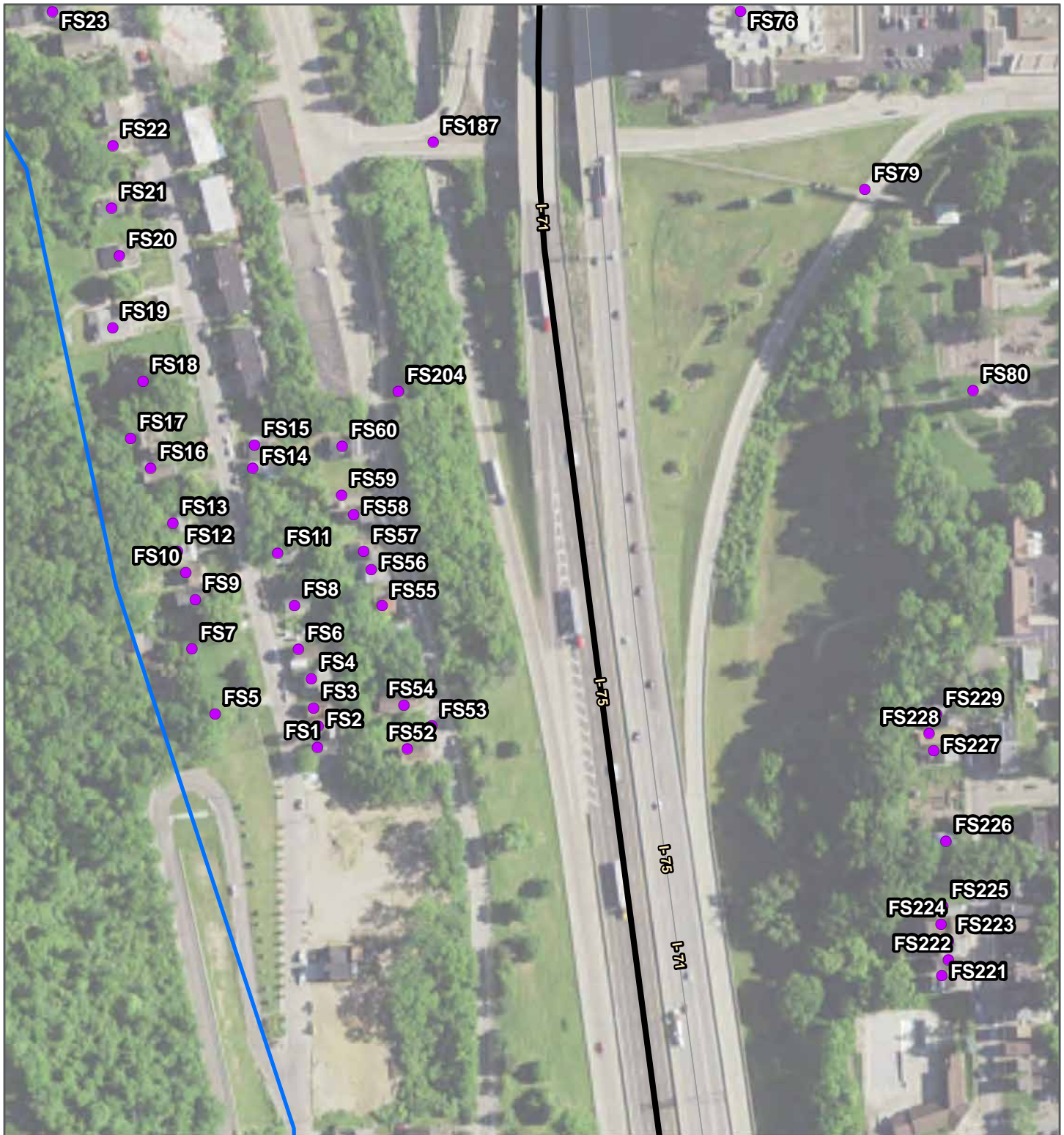
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Field Survey Sites
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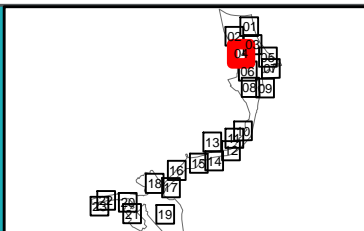


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- Project Location (I-75/71)

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COVINGTON

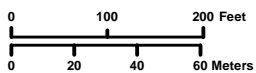
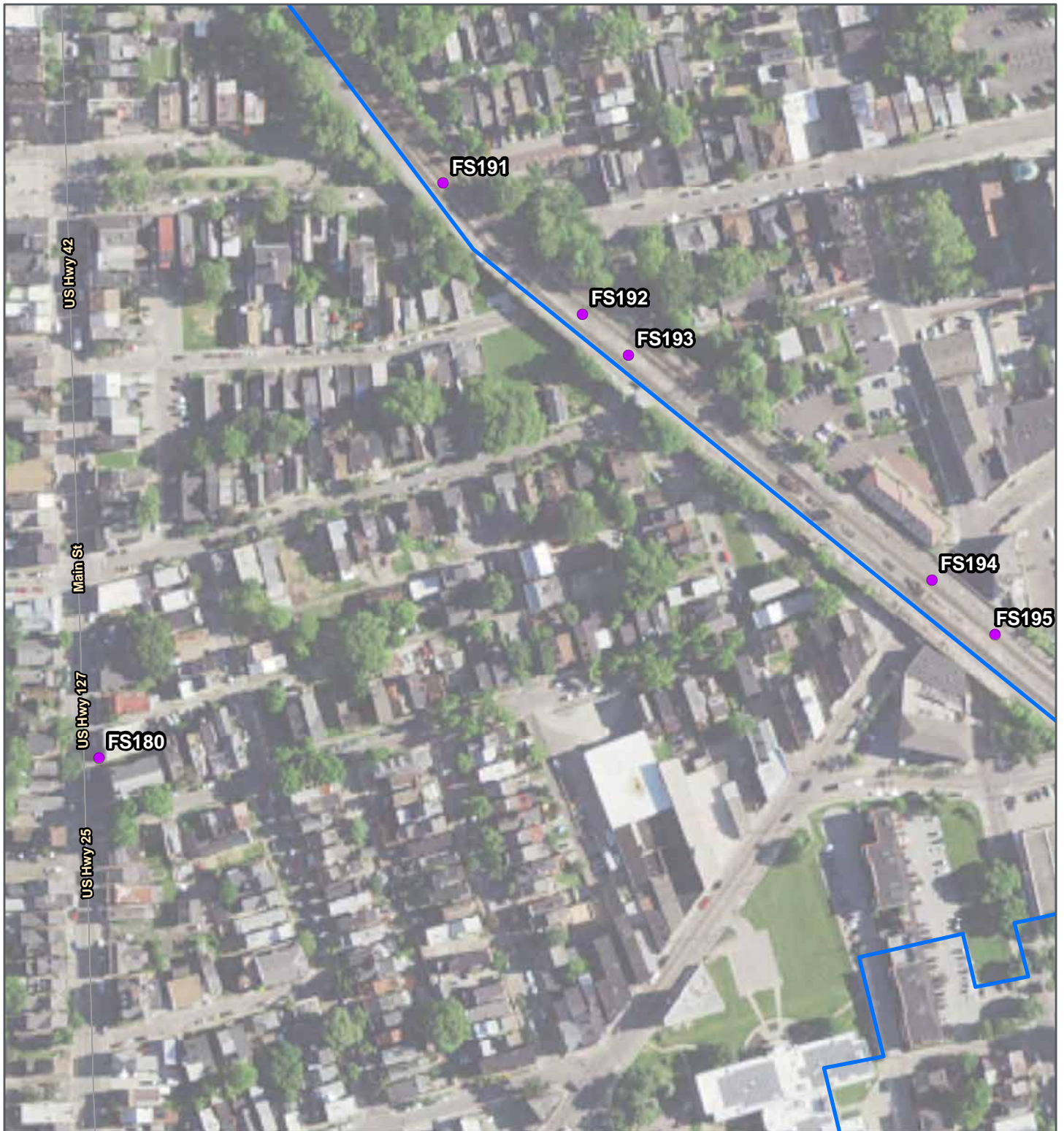
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Field Survey Sites
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Covington, Kenton County, Kentucky

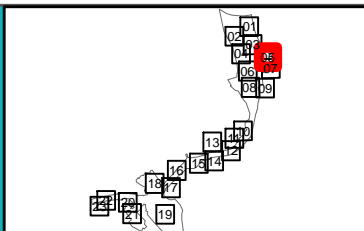


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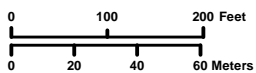
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 7.5' Quadrangle:
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Field Survey Sites
 Page 5 of 23
 Brent Spence Bridge Renewal Project (6-17)
 Covington, Kenton County, Kentucky



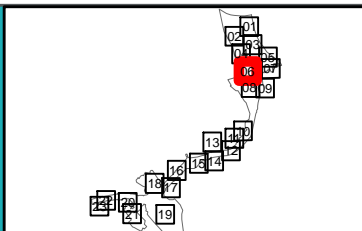
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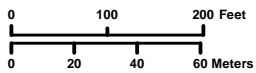
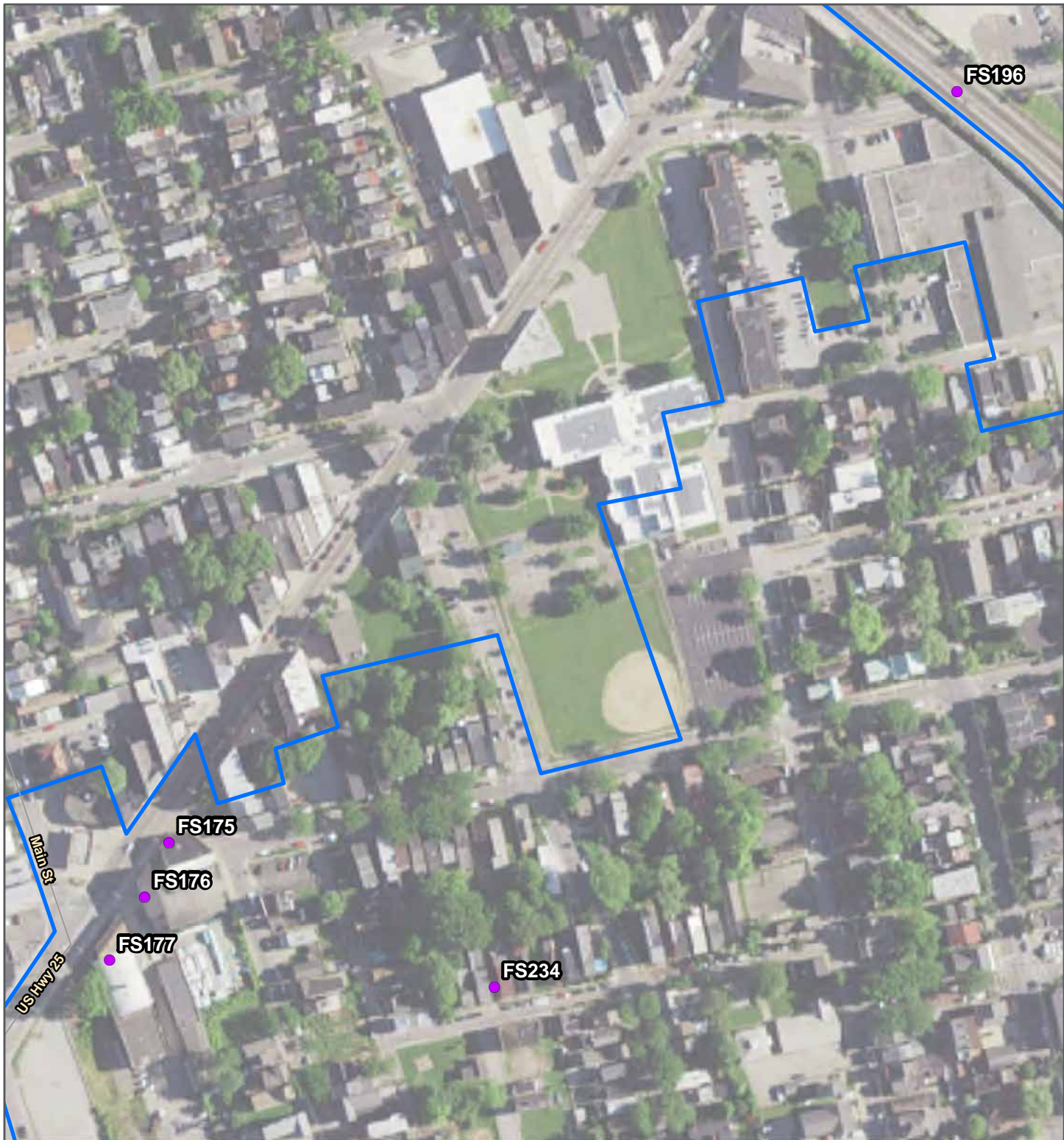
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Field Survey Sites
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Brent Spence Bridge Renewal Project (6-17)
Covington, Kenton County, Kentucky

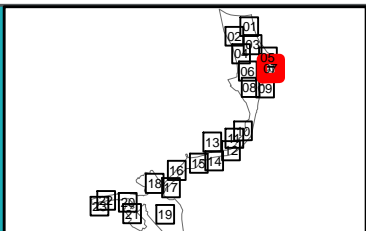


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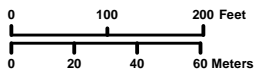
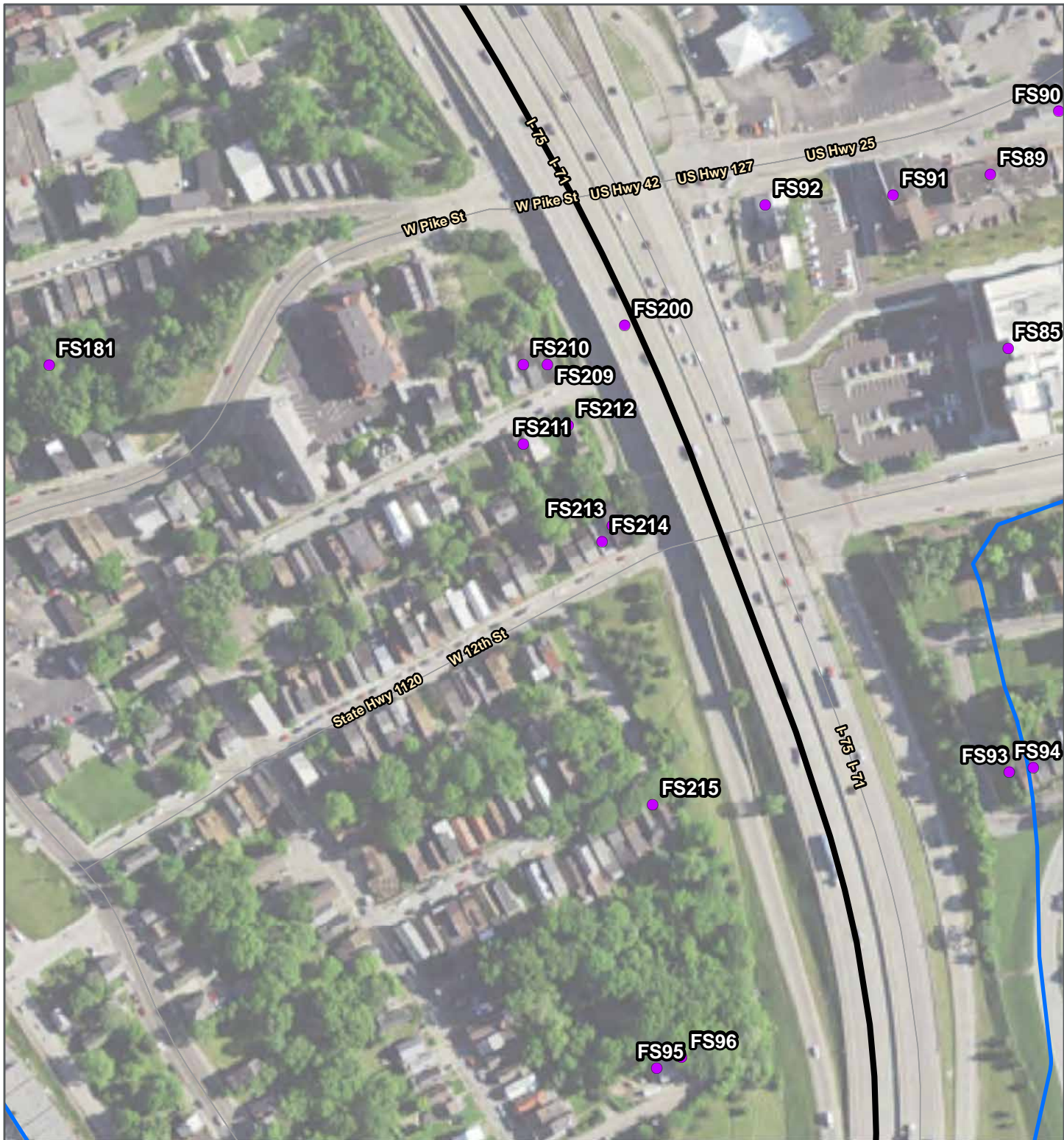

 7.5' Quadrangle:
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Field Survey Sites
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Brent Spence Bridge Renewal Project (6-17)
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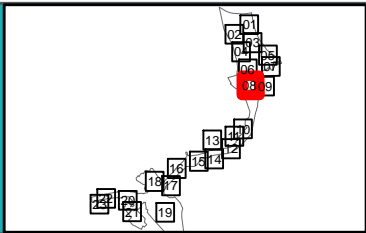
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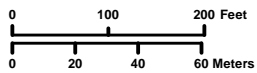
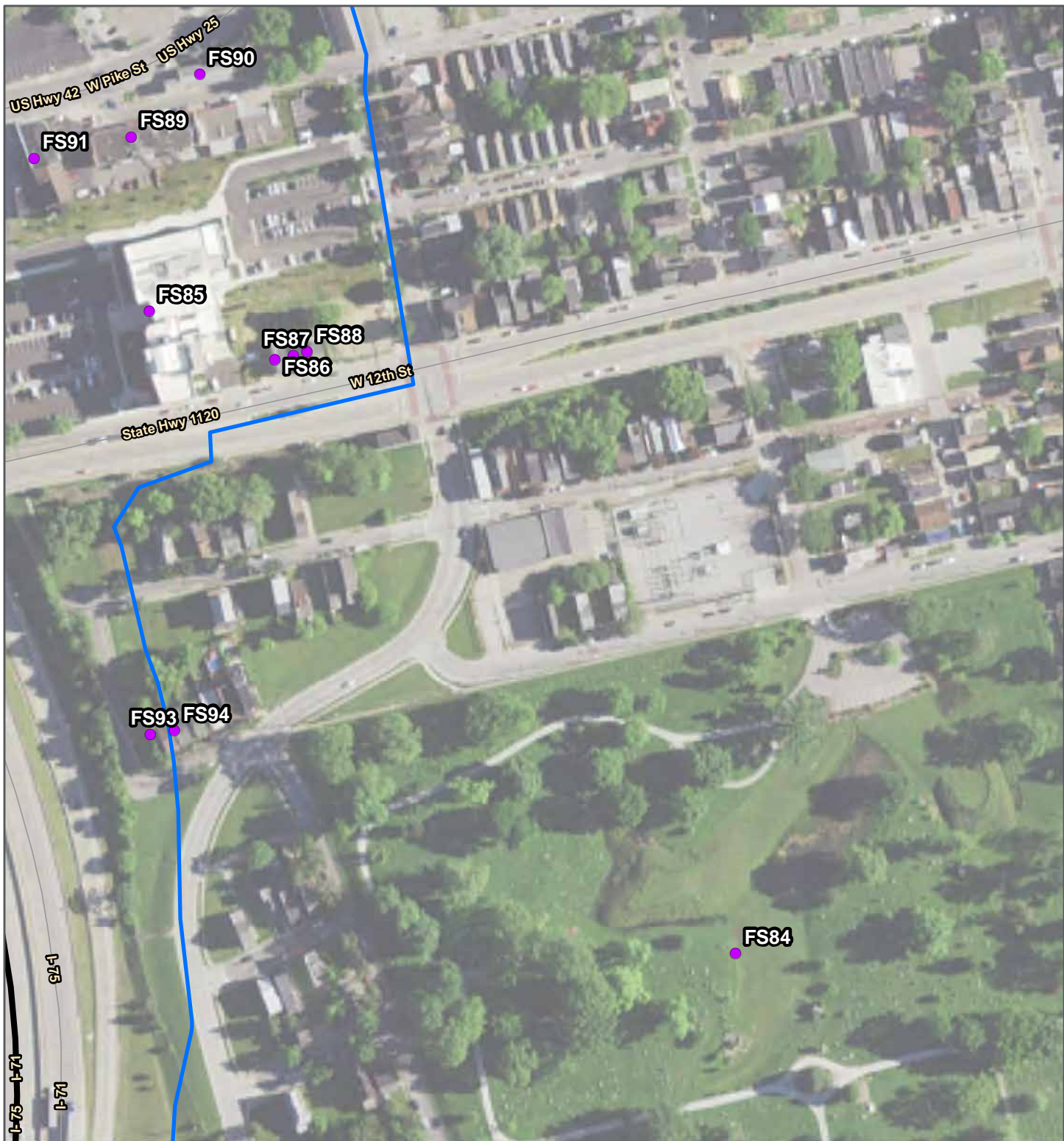


Field Survey Sites
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Brent Spence Bridge Renewal Project (6-17)
Covington, Kenton County, Kentucky

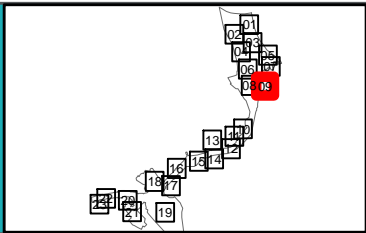
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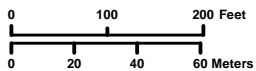
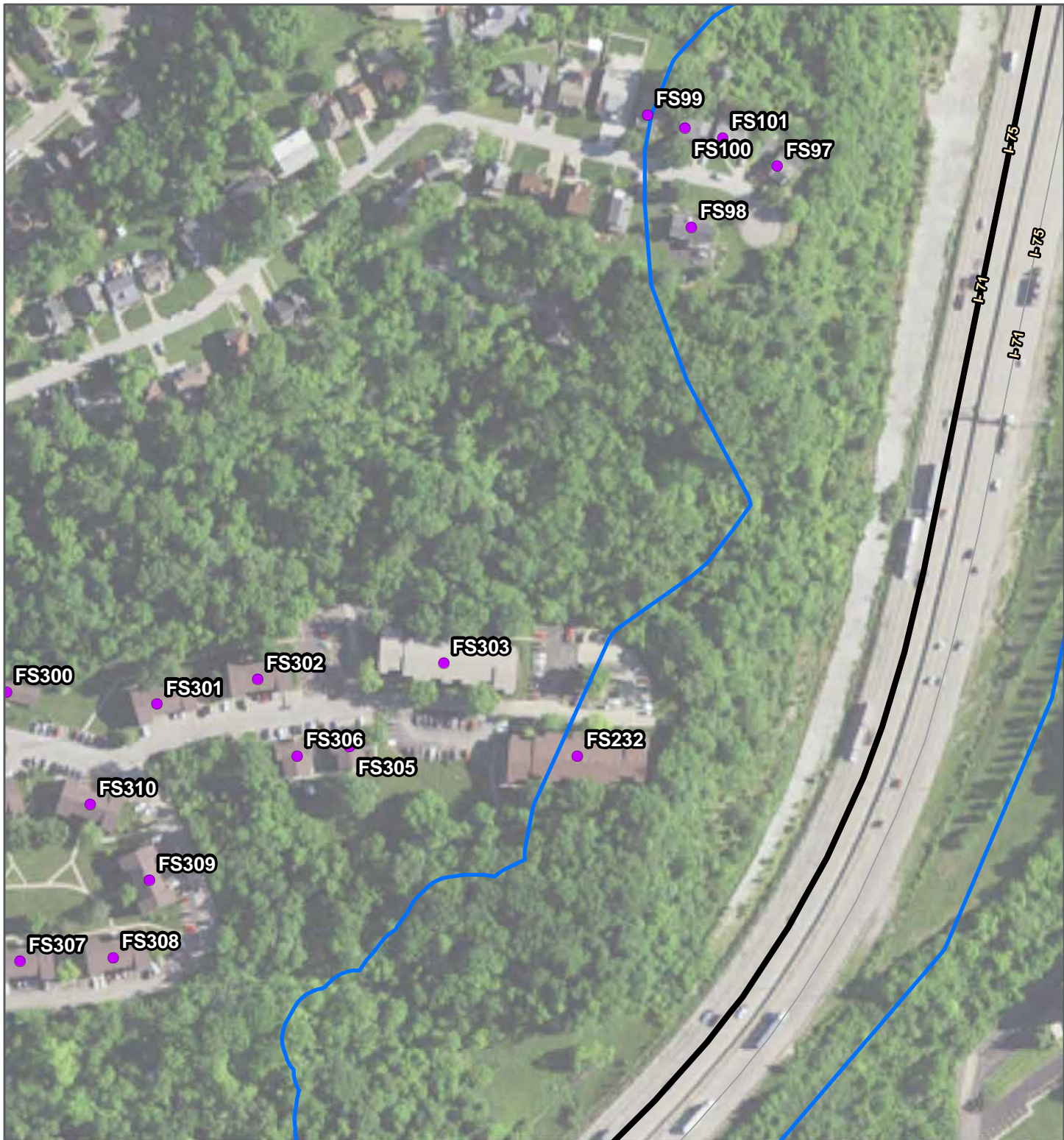
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Field Survey Sites
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Brent Spence Bridge Renewal Project (6-17)
Covington, Kenton County, Kentucky

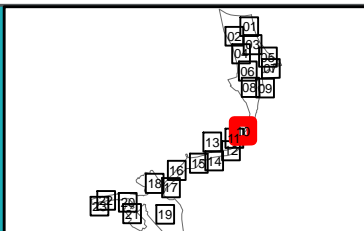
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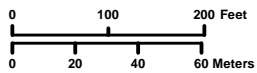
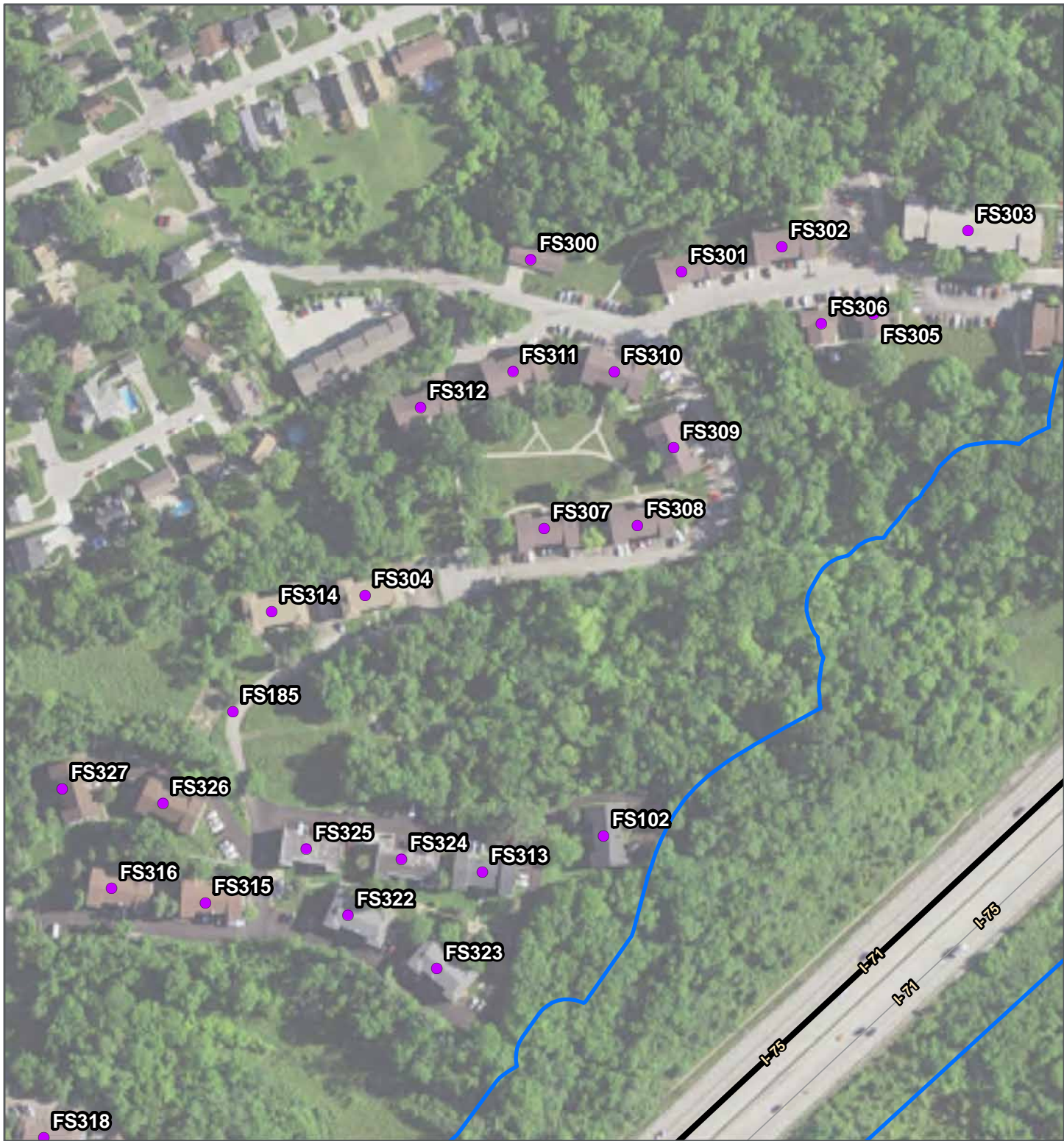
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Field Survey Sites
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Brent Spence Bridge Renewal Project (6-17)
Covington, Kenton County, Kentucky



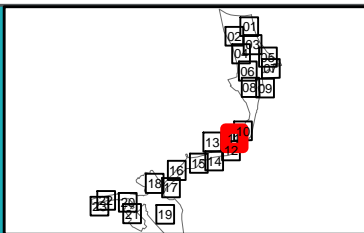
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- Field Site
- Direct APE
- Project Location (I-75/71)

7.5' Quadrangle:
COVINGTON

Project No.
j202063m26
238100739

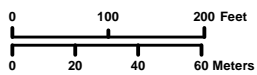
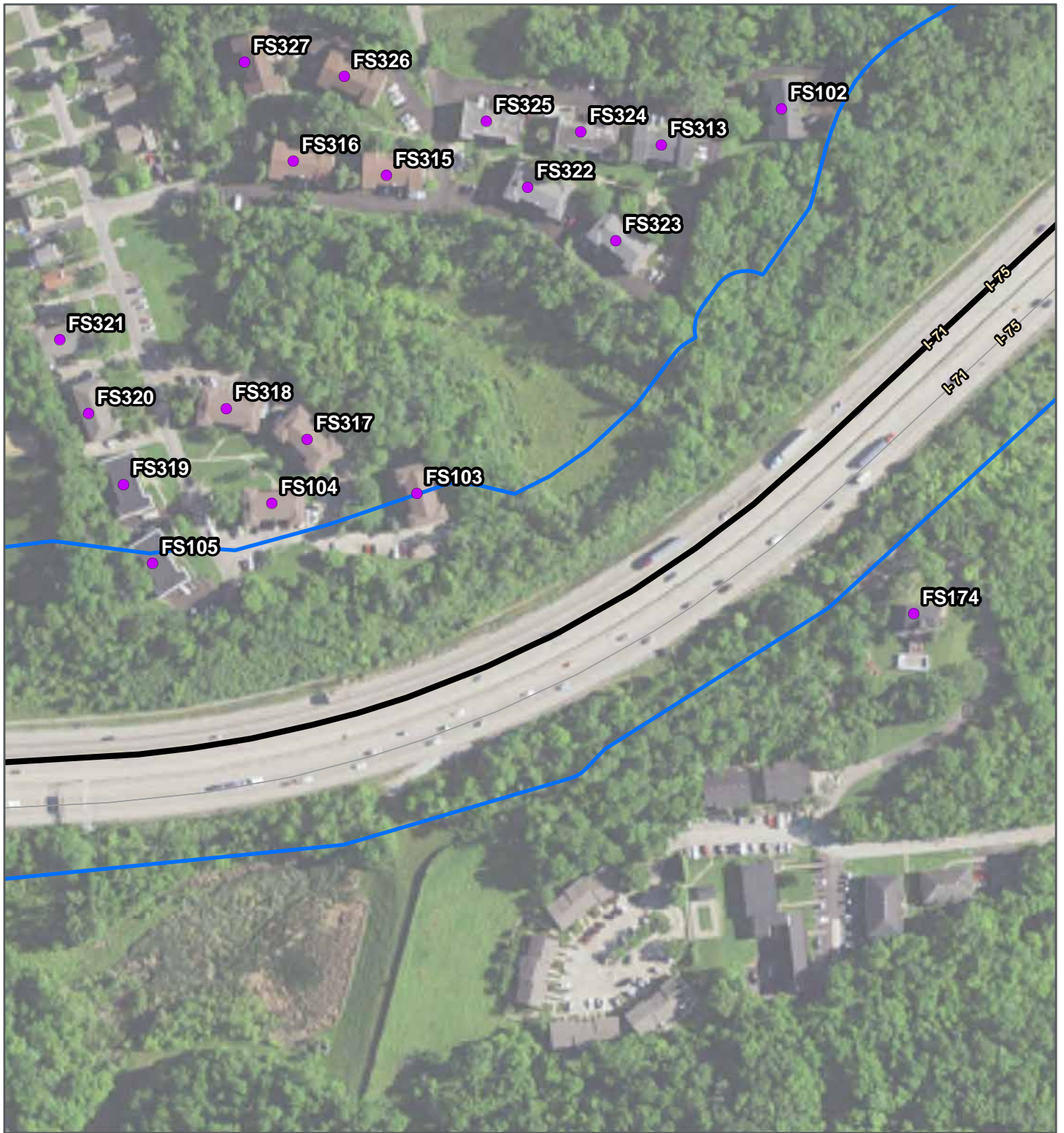


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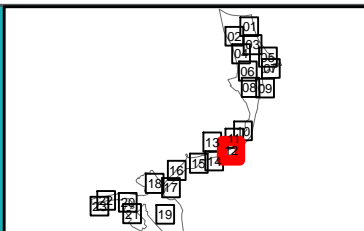
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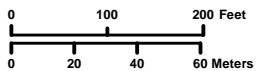
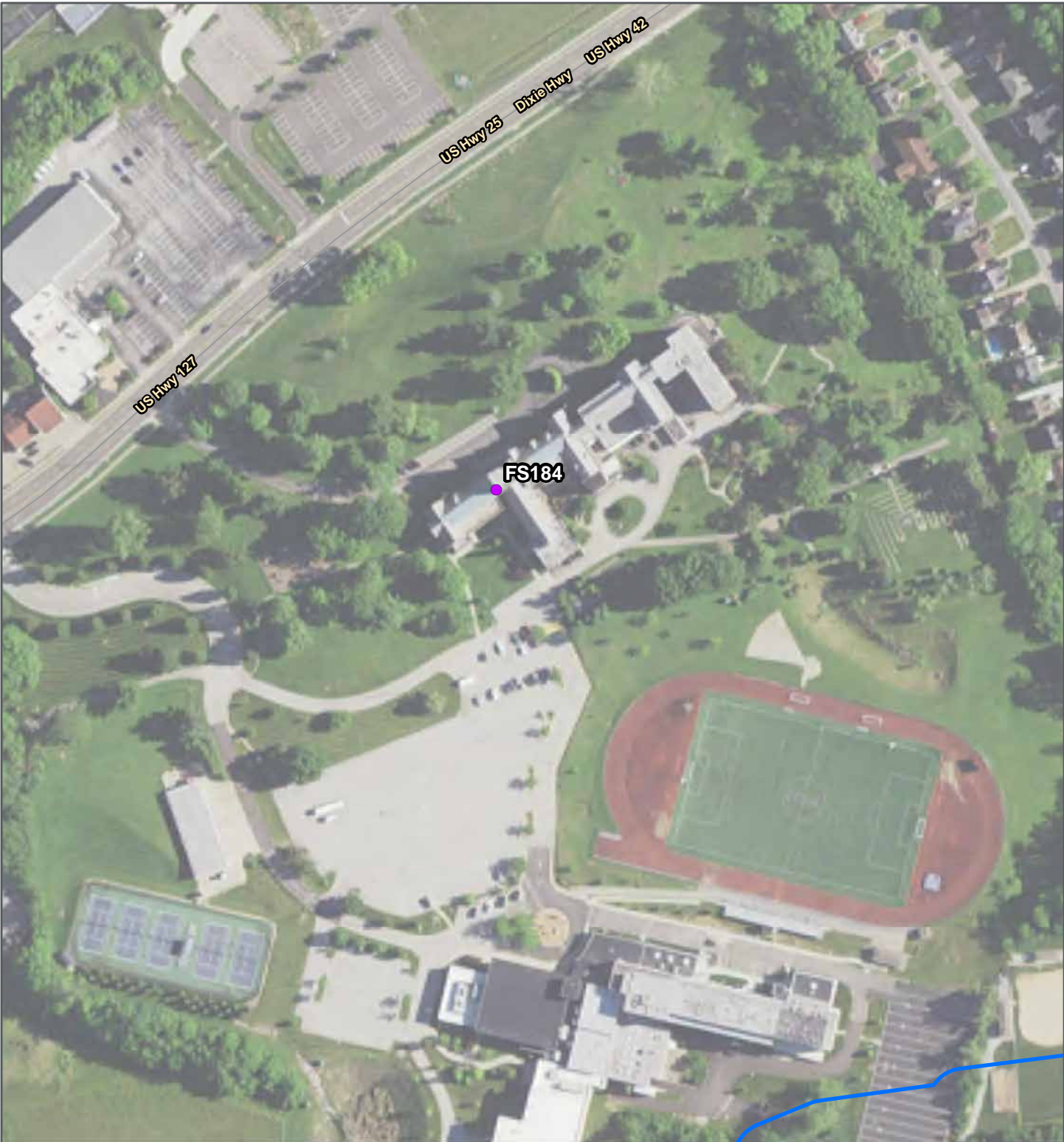
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Brent Spence Bridge Renewal Project (6-17)
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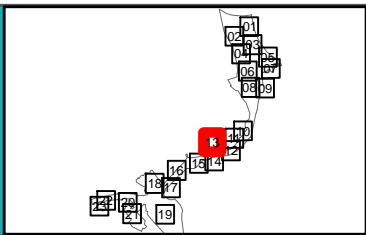


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 Field Site
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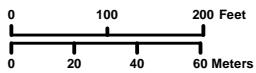
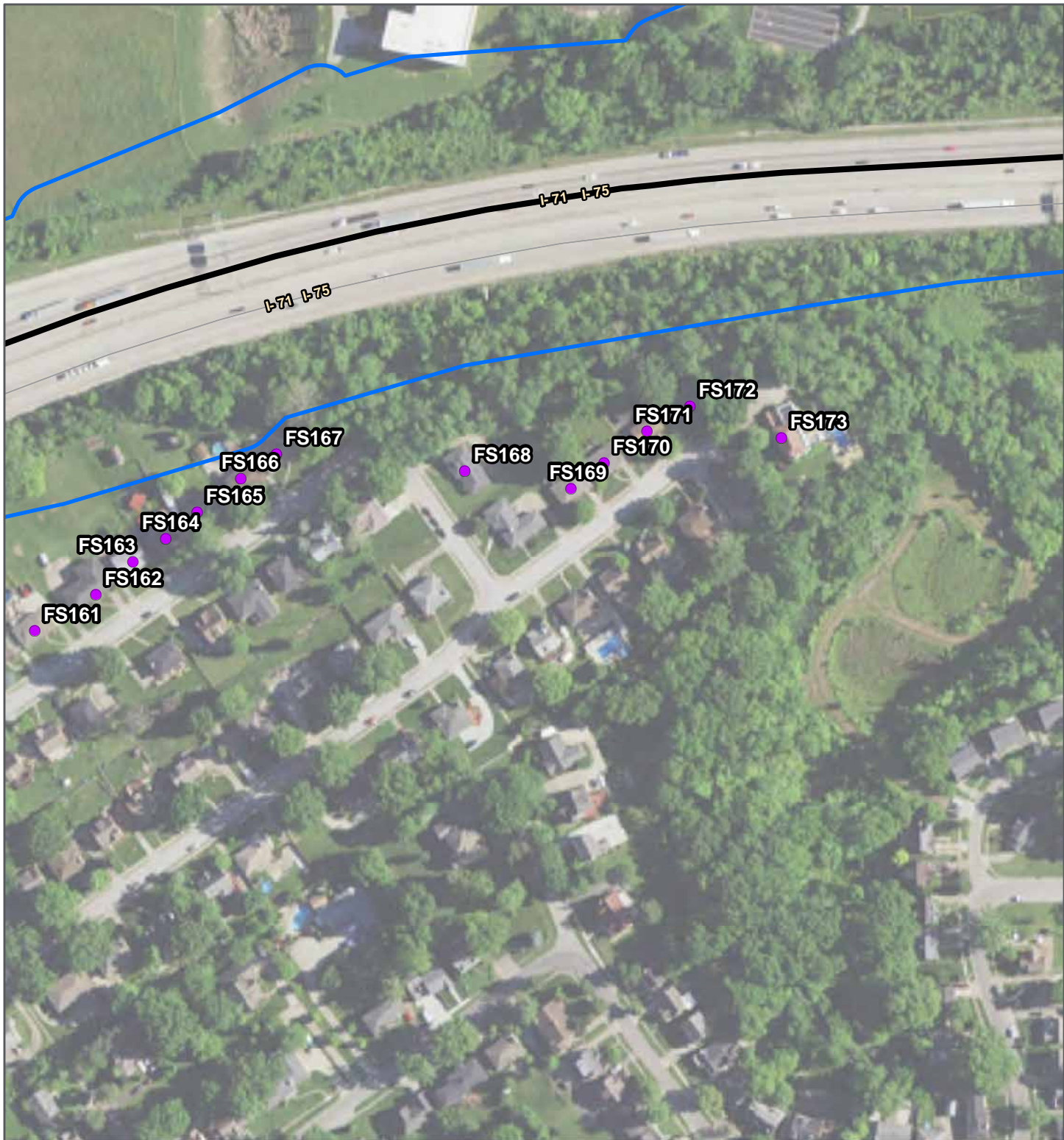

 7.5' Quadrangle:
COVINGTON
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Brent Spence Bridge Renewal Project (6-17)
Covington, Kenton County, Kentucky



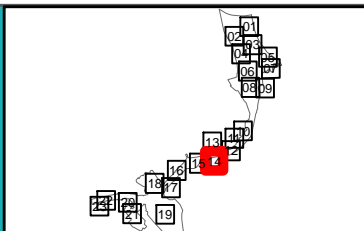
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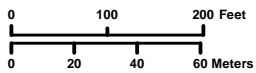
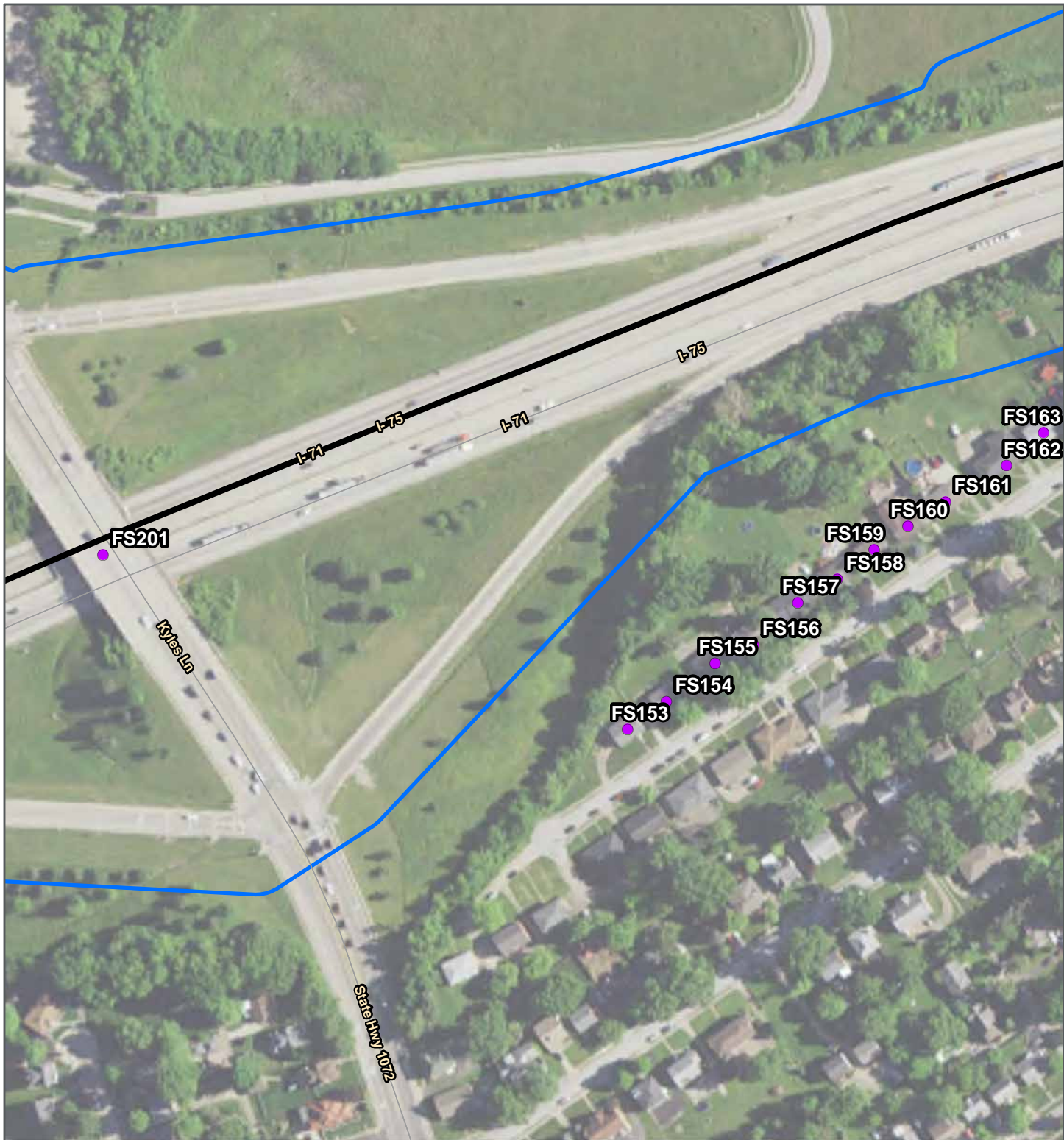


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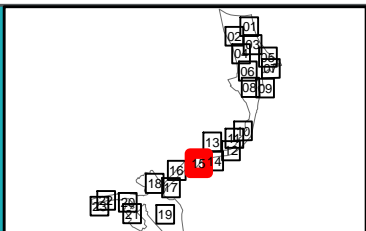


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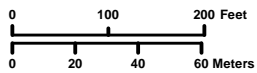
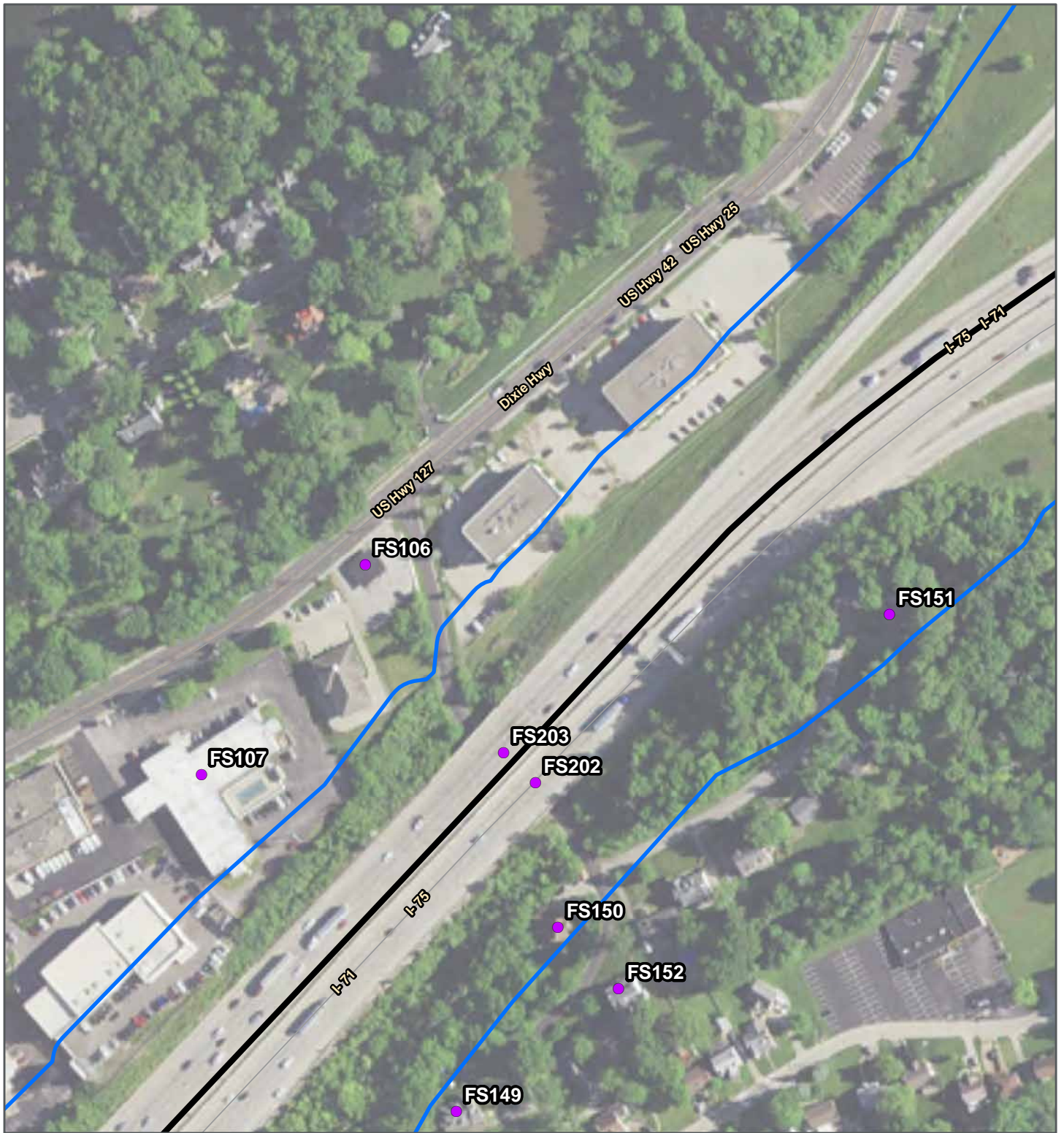
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Brent Spence Bridge Renewal Project (6-17)
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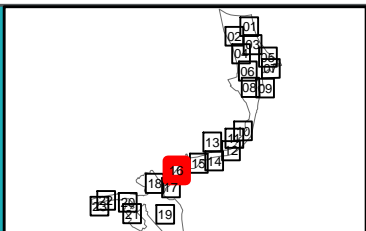
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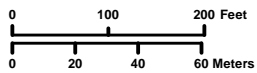
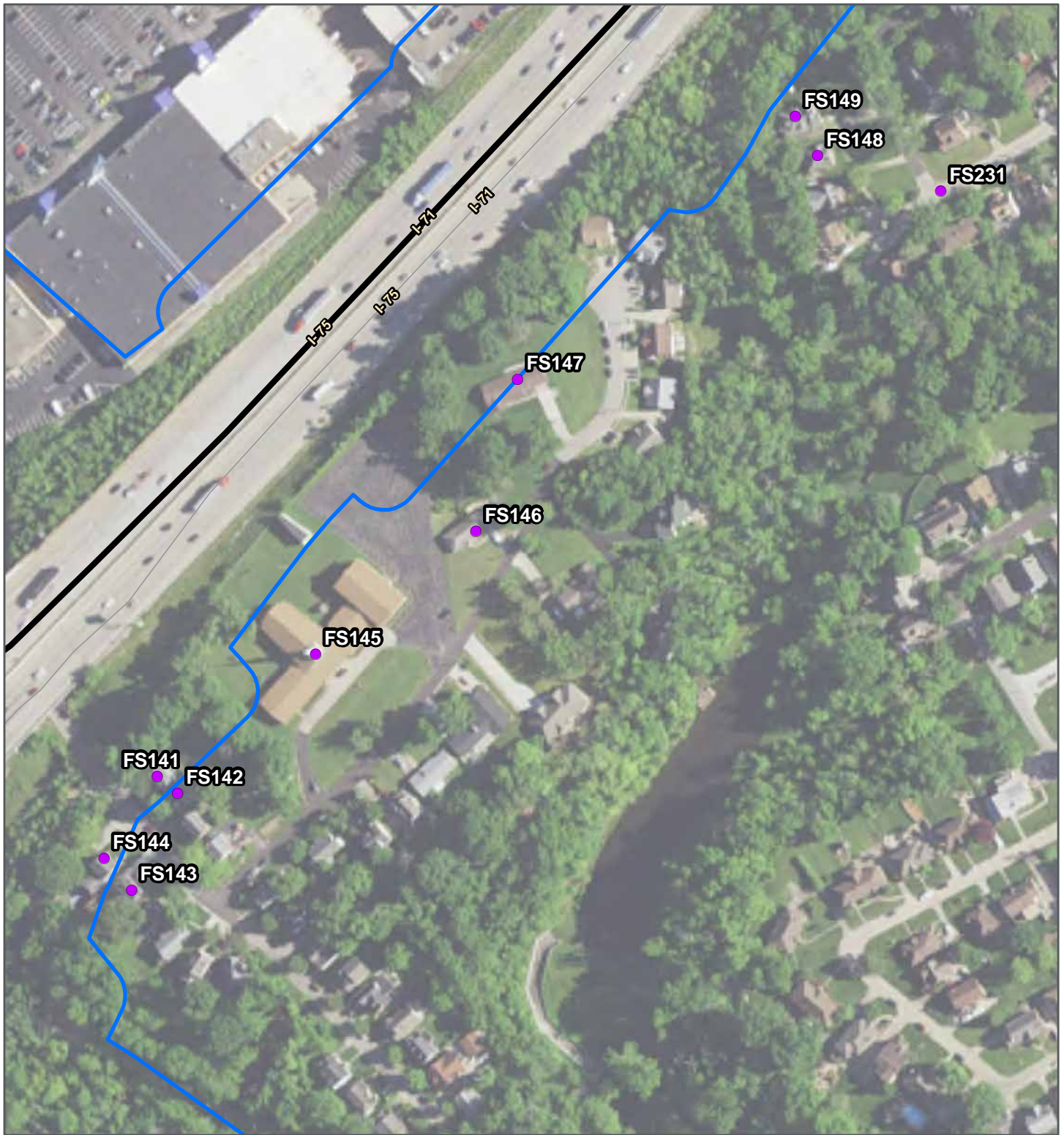


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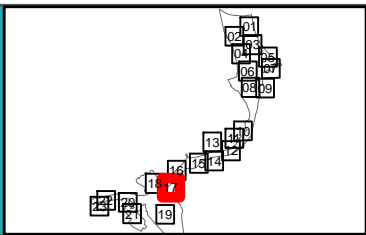
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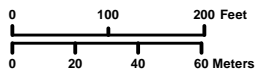
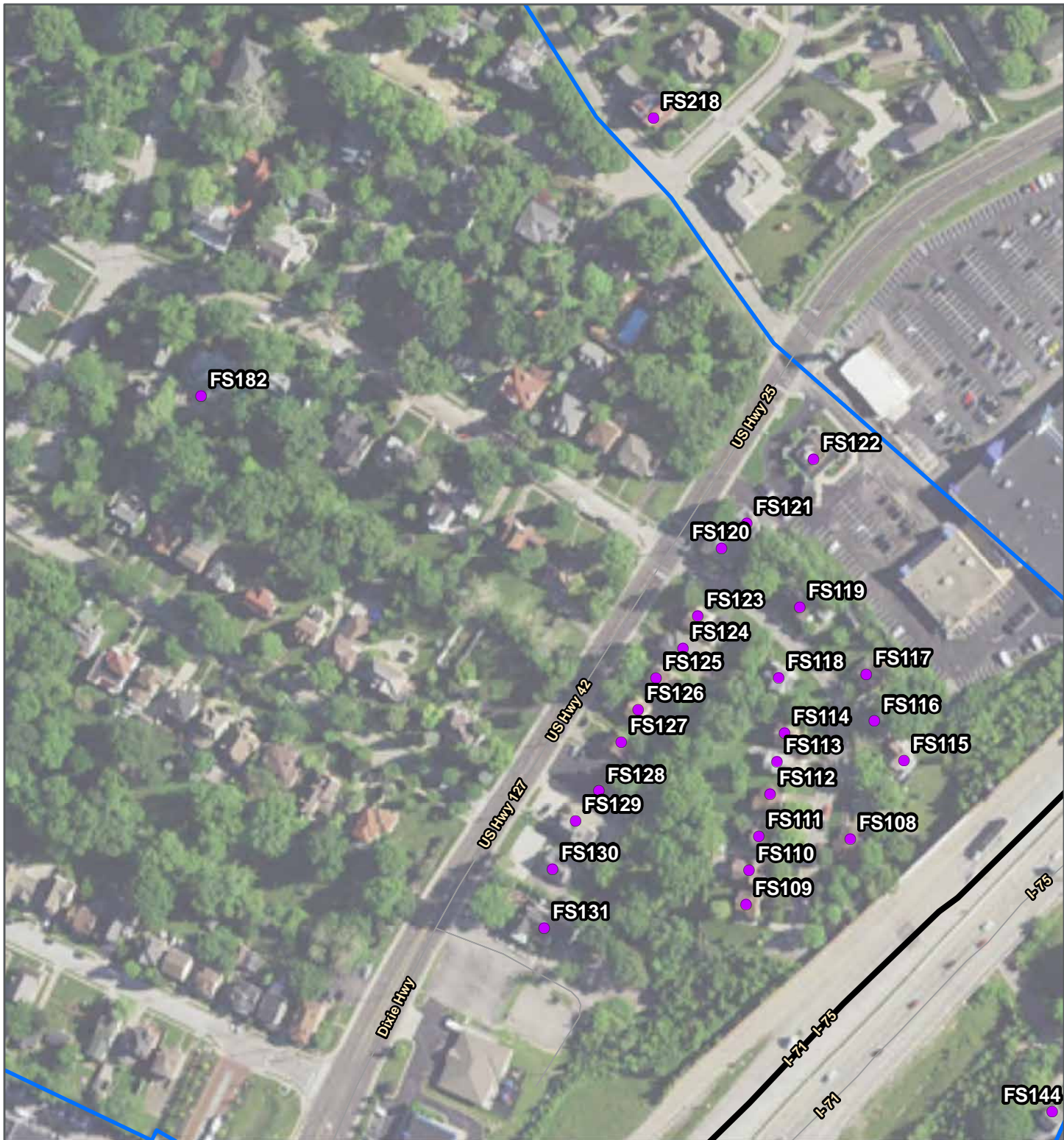


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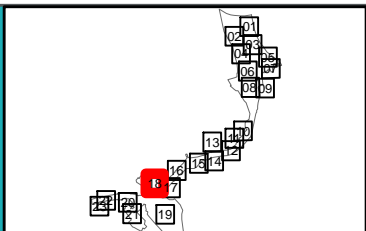
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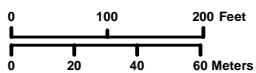




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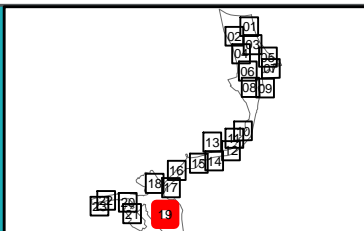


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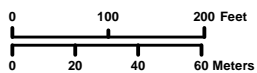
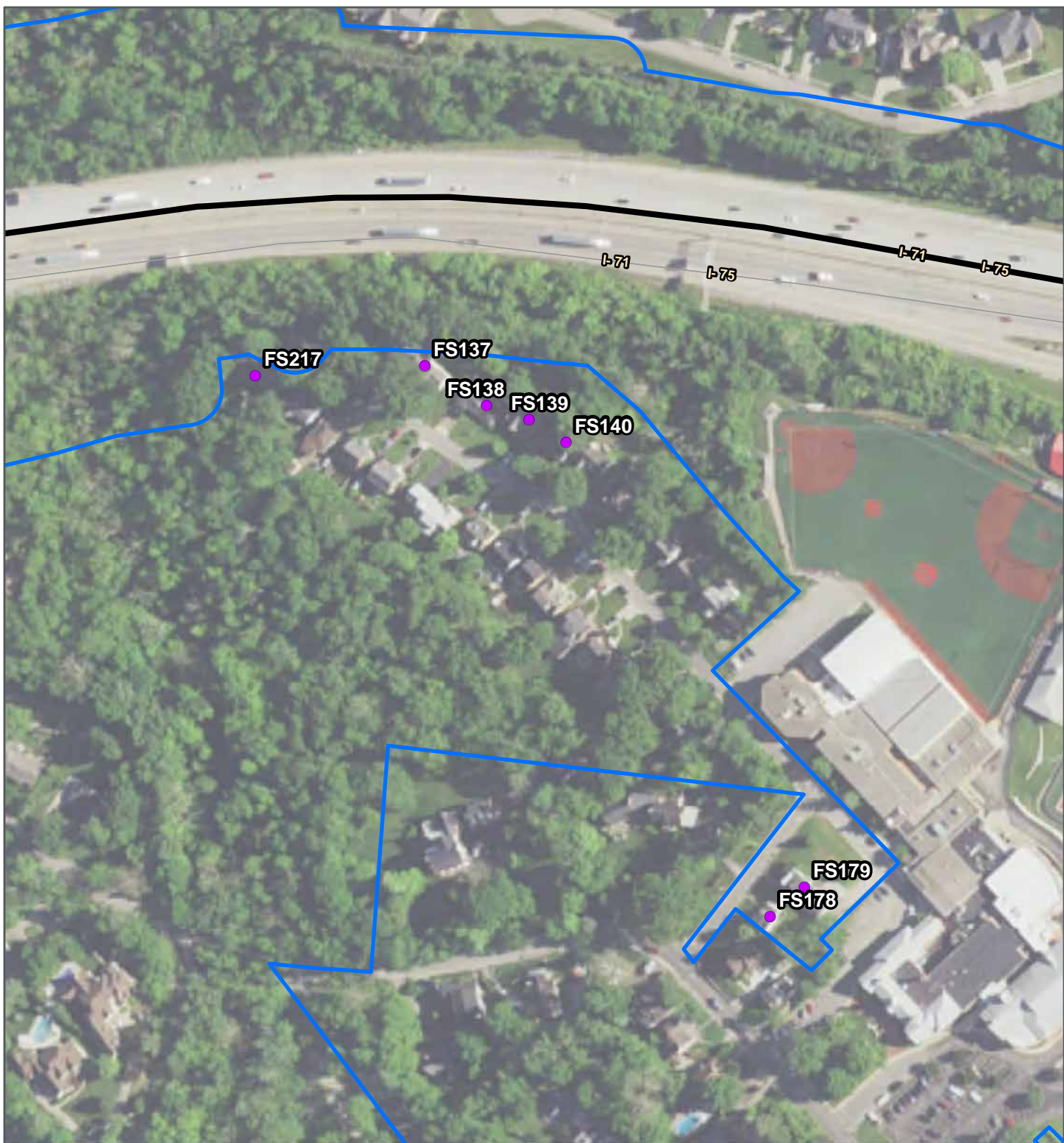

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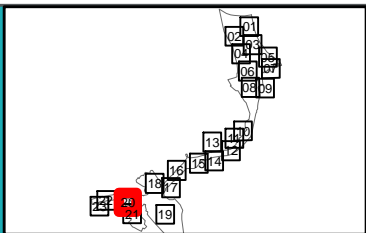
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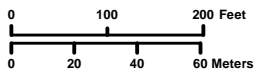
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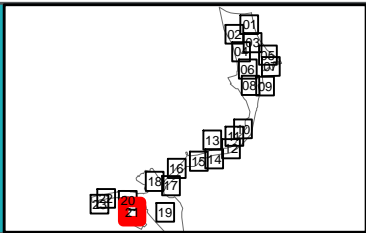


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 Field Site
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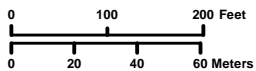
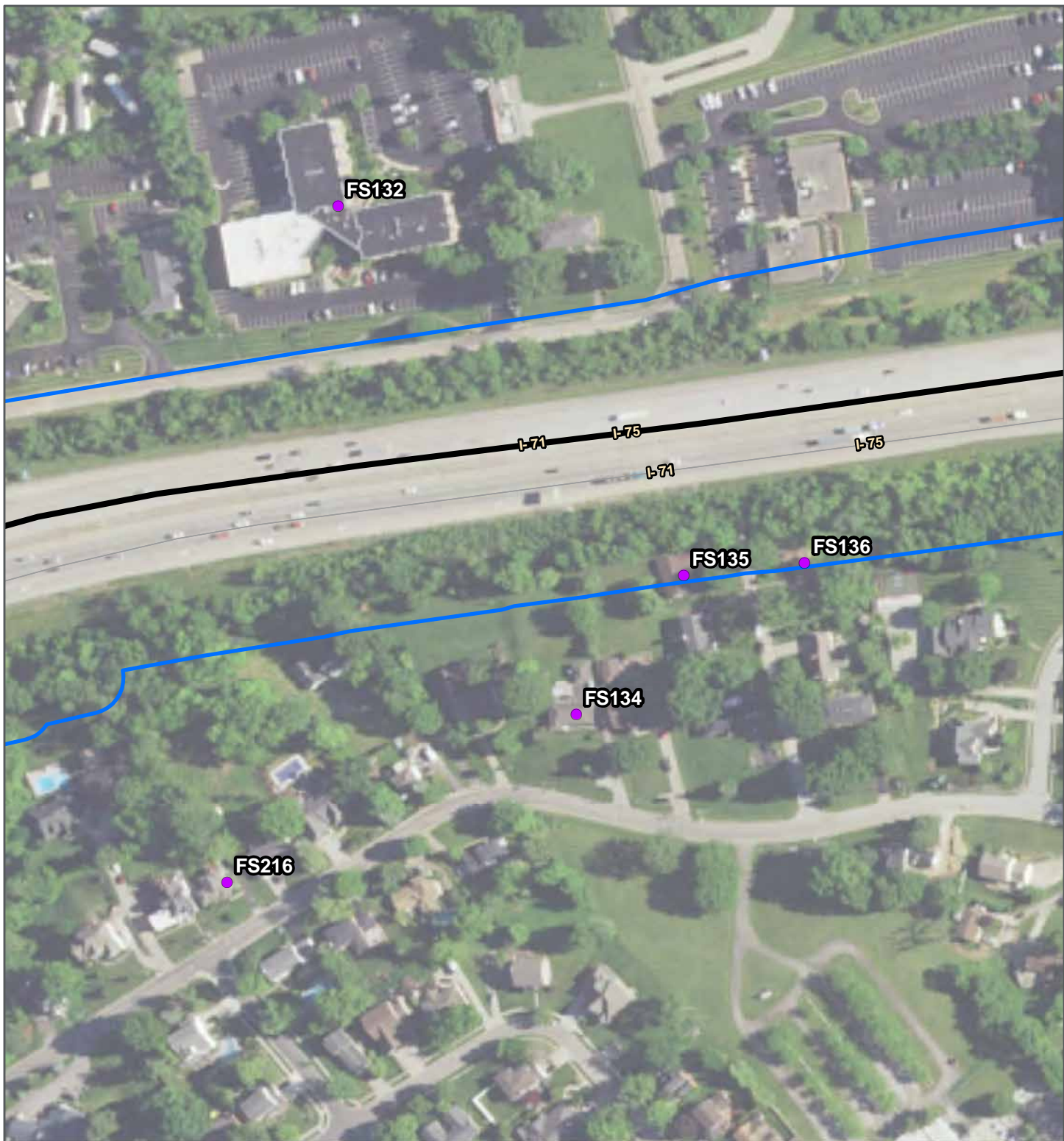

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Field Survey Sites
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Brent Spence Bridge Renewal Project (6-17)
 Covington, Kenton County, Kentucky



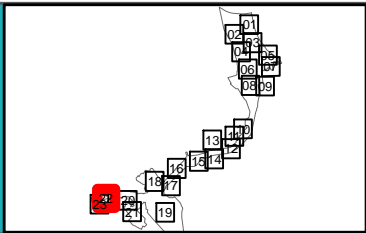
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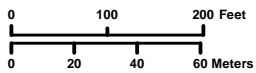
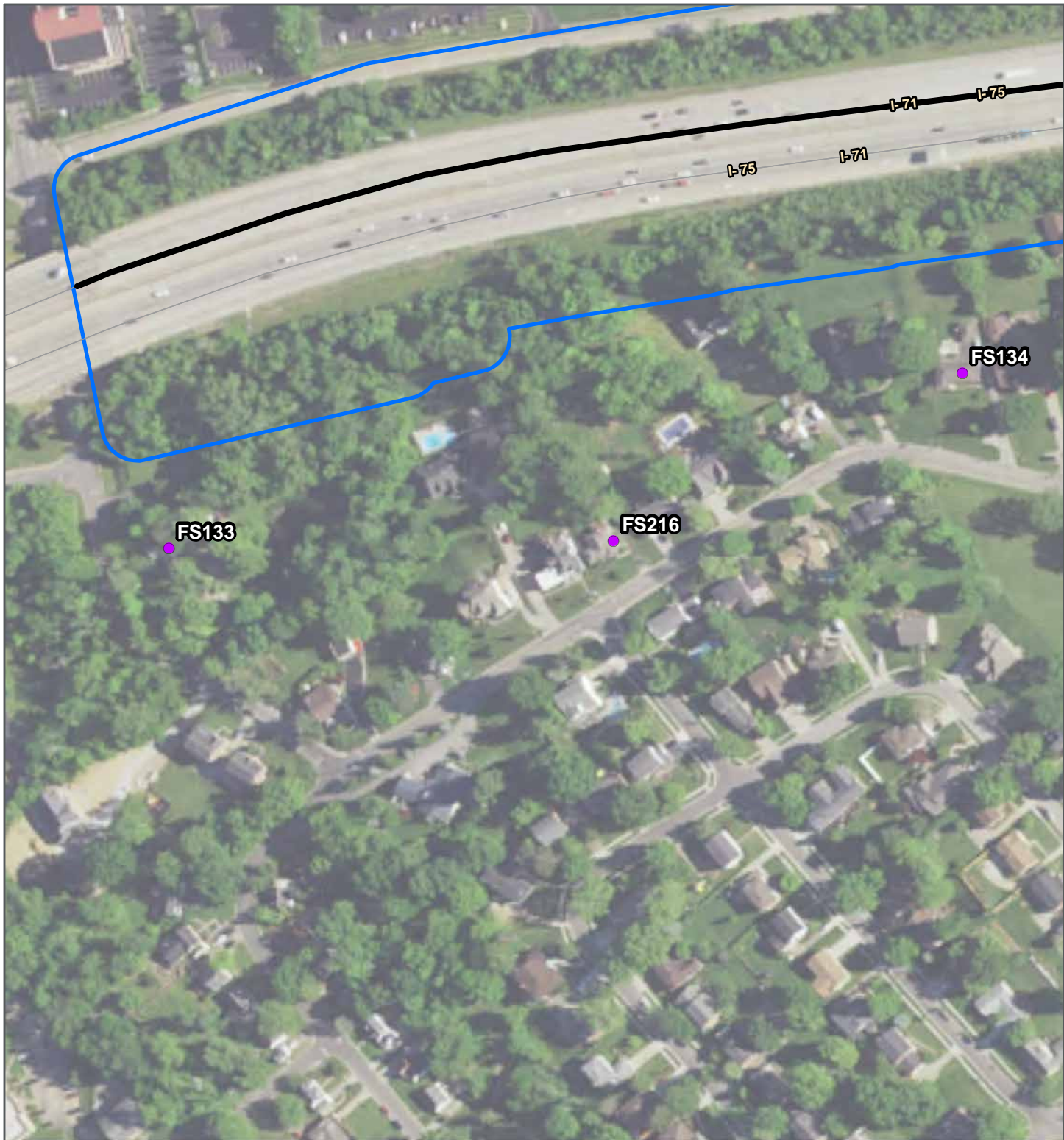


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Brent Spence Bridge Renewal Project (6-17)
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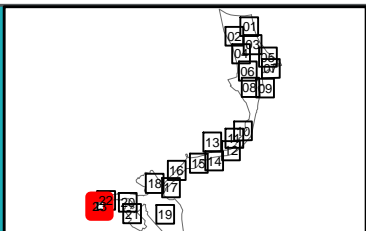


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